

## **Attachment 1**

10 March 2021

Waipa District Council  
Private Bag 2402  
Te Awamutu 3840

Attention: Wayne Allan

Sent via email: [Wayne.Allan@waipadc.govt.nz](mailto:Wayne.Allan@waipadc.govt.nz)

Dear Wayne

**RE: 3Ms of Cambridge GP Limited – Addendum to Application SP/0179/20**

Firstly, 3Ms of Cambridge GP Limited (“**3Ms**”) wishes to thank the Waipa District Council for providing the draft notification report for 3Ms to review and the opportunity to respond to the issues raised. 3Ms acknowledges that concerns have been raised in the report in respect of the 3Ms development not showing a local road connection into the Kelly Road area. In that regard, 3Ms has worked to find a solution to address Council’s desire to have a local road connection, and also not compromise the lots within the 3Ms development itself.

In that respect, 3Ms is proposing to include a local road connection through to Kelly Road (off Road 10) in the same location as the east-west swale that runs through the 3Ms site into 44A Kelly Road. The application therefore needs to be amended.

It is understood that Waipa District Council was planning on acquiring land with a width of 12 metres for the east/west swale through 44A Kelly Road. 3Ms is proposing that this corridor include the local road; therefore, the corridor would need to be extended by around eight (8) metres in width to 20 metres in width. 3Ms considers that this solution represents an efficient use of land as that corridor was going to be acquired in any event. This solution also does not reduce the number of lots within the 3Ms development (and therefore remove any future potential lots from the Cambridge residential market).

The Waipa District Council has asked 3Ms to formally amend the subdivision application (SP/0179/20) to include the local road connection through to Kelly Road. In that regard, please find enclosed a series of plans that supersede the plans within the resource consent application and assessment of

environmental where there is any inconsistency of conflict between these plans in respect of the local road in question. The key amendments are:

- (a) The eastern stormwater connection reserve will also encompass a road reserve (i.e. future local road link to Kelly Road by others):
- (b) The sizes of the lots on the eastern boundary have been adjusted to accommodate the above update.

The following plans are attached to this letter:

- **3Ms Property Layout Alternative Development** 17001-SK-094-REVK replaces drawing 17001-SK-094-REVJ which is shown as Figure 1 and Figure 7 in the application.
- **Structure Plan Integration General Arrangement** 17001-SK-100-REVH replaces drawing 17001-SK-100-REVG in Appendix D of the application (and Figure 31 of the application).
- **Structure Plan Integration Stormwater Network** 17001-SK-102-REVD replaces drawing 17001-SK-102-REVC in Appendix D of the application.
- **Structure Plan Integration Transport Network** 17001-SK-103-REVD replaces drawing 17001-SK-103-REVC in Appendix D of the application (and Figure 15 in respect of the local road).
- **Structure Plan Integration Walking & Cycling** 17001-SK-104-REVD replaces drawing 17001-SK-104-REVC in Appendix D of the application (and Figure 16 of the application in respect of the local road).
- **Structure Plan Integration Open Space Network** 17001-SK-105-REVD replaces drawing 17001-SK-105-REVC in Appendix D of the application.
- **Structure Plan Integration Staging Plan** 17001-SK-106-REVD replaces drawing 17001-SK-106-REVC in Appendix D of the application.
- **WDC Land Acquisition Updated 3Ms Layout** 17001-SK-117-REVC. A plan of this nature is not shown in the application currently.
- **Structure Plan Integration Revised Land Requirement Plan** 17001-SK-109-REVB replaces drawing 17001-SK-109-REVA which is shown as Figure 43 in the application.
- **44A Kelly Road Updated 3Ms Layout** 17001-SK-129-REVA (new plan).
- **Scheme Plan** drawings 4297-SP-1-REVK, 4297-SP-2-REVK, 4297-SP-3-REVK, 4297-SP-4-REVK, 4297-SP-5-REVK, 4297-SP-6-REVK and 4297-SP-7-REVK replace drawings 4297-SP-1-REVH, 4297-SP-2-REVH, 4297-SP-3-REVH, 4297-SP-4-REVH, 4297-SP-5-REVH, 4297-SP-6-REVH and 4297-SP-7-REVH which are contained in Appendix F of the application and are also shown as Figures 8 – 14. These plans show the area as “Local Purpose Reserve – Stormwater” (Lot 500) as this was the intended function of the reserve; However, as the other plans attached to this letter show, it is proposed that this reserve also encompass a local road.

A full set of master plan engineering drawings set (which are shown in Appendix D of the application) will be provided in due course.

3Ms reiterates that Waipa District Council will need to purchase the land off 3Ms and pay for the construction costs of this local road as the road is not servicing the 3Ms development; future Kelly Road developments will largely benefit from this road. The costs of this could be recovered via development contributions.

One final matter that needs a brief comment is the status of the “Structure Plan Integration” or “Updated Structure Plan” drawings in the resource consent application and assessment of environmental effects, which is a matter that has been discussed with the Waipa District Council. These terms which are used throughout the application are references to the illustrations of how, once the 3Ms subdivision is granted, the existing C1 and C2/C3 Structure Plan features could be given effect to under a slightly different spatial alignment. 3Ms is not seeking an amendment to the Structure Plan that is part of the Waipa District Plan. The subdivision application cannot, and does not, encompass a change to the Structure Plan, and a change of that nature can only occur through a plan change process. It is also noted that no changes need to be made to the operative Structure Plan to encompass the changes shown in the illustration 3Ms plans. Progressive developments can occur within the growth cell under the existing Structure Plan, so long as each is assessed to the extent that any departures from the structure plan are evaluated and accounted for. Ultimately, development will not necessarily follow the existing structure plan identically.

3Ms considers that these “alternative structure plans” are relevant to the current application only to the extent that they illustrate how and why the proposed 3Ms subdivision does not frustrate the delivery of the Structure Plan in the long term. Again, they illustrate how it can be delivered in a slightly different way. This is relevant because the subdivision must be evaluated to the extent that it is consistent with the Structure Plan. To the extent that it is different, those differences need to be evaluated, and the effects of the differences examined. The alternative structure plans prepared by 3Ms (including those that have been updated and attached to list letter) illustrate that the effects of the differences are minimal and easily addressed.

I trust that the information contained in this letter addresses the concerns raised by the Waipa District Council in its notification assessment. Please do not hesitate to contact me directly if any matters in this letter require further clarification.

Yours sincerely,



Abbie Fowler  
Associate  
Mitchell Daysh Ltd

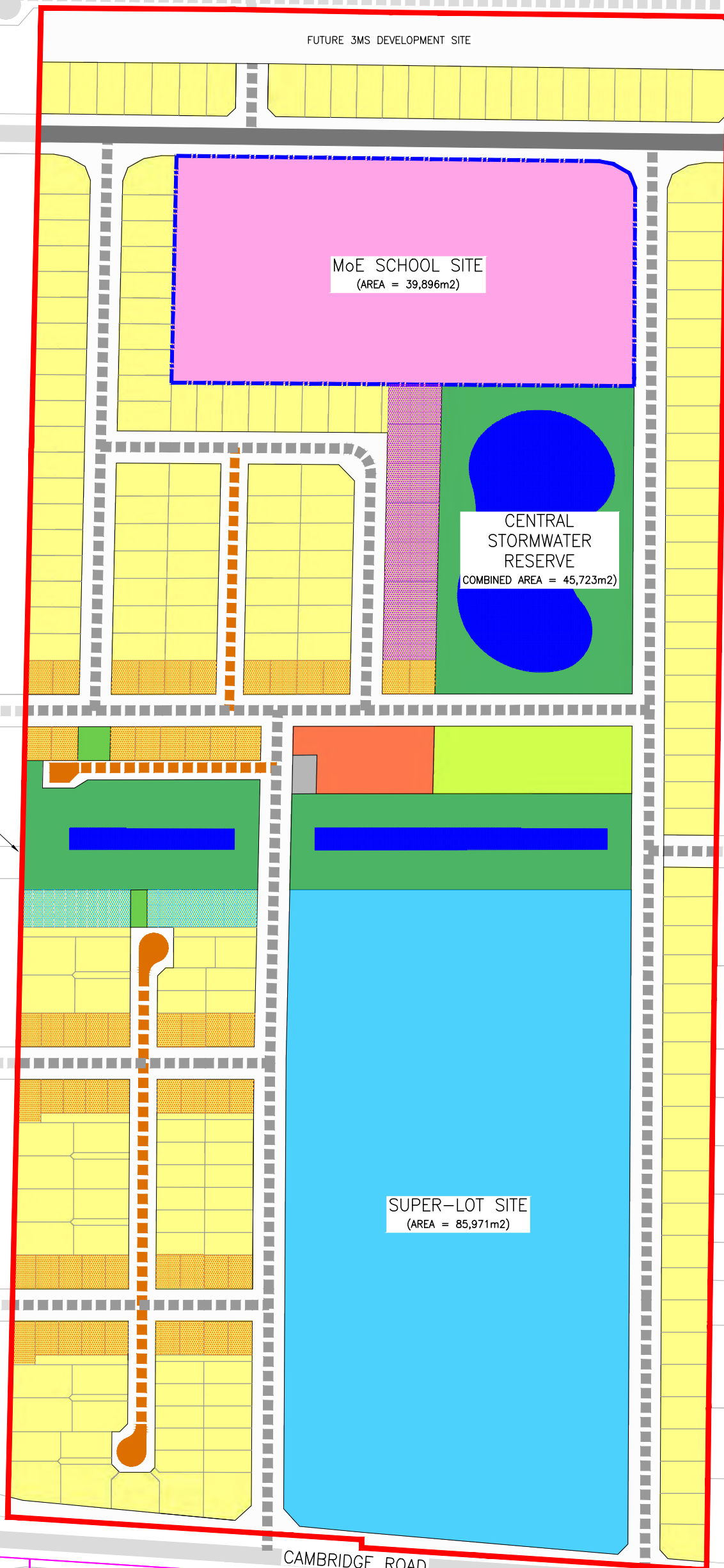
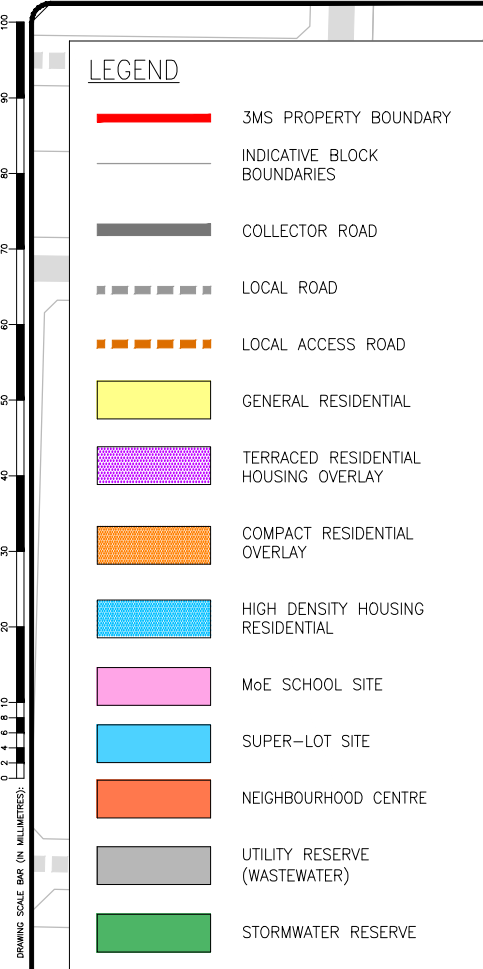
Cc: Helen Aitkens ([helen.atkins@ahmlaw.nz](mailto:helen.atkins@ahmlaw.nz)); Tony Quickfall ([Tony.Quickfall@waipadc.govt.nz](mailto:Tony.Quickfall@waipadc.govt.nz)) and Mark Batchelor ([Mark.Batchelor@ckl.co.nz](mailto:Mark.Batchelor@ckl.co.nz)).

**3MS DEVELOPMENT LAYOUT**



**LEGEND**

- 3MS PROPERTY BOUNDARY
- INDICATIVE BLOCK BOUNDARIES
- COLLECTOR ROAD
- LOCAL ROAD
- LOCAL ACCESS ROAD
- GENERAL RESIDENTIAL
- TERRACED RESIDENTIAL HOUSING OVERLAY
- COMPACT RESIDENTIAL OVERLAY
- HIGH DENSITY HOUSING RESIDENTIAL
- MoE SCHOOL SITE
- SUPER-LOT SITE
- NEIGHBOURHOOD CENTRE
- UTILITY RESERVE (WASTEWATER)
- STORMWATER RESERVE
- STORMWATER DEVICE (SOAKAGE BASIN)
- LOCAL OPEN SPACE (RESERVE)
- ACTIVE RECREATION (RESERVE)



KELLY ROAD

3Ms PROPERTY BOUNDARY

CAMBRIDGE ROAD

TE AWA LIFECARE DEVELOPMENT

PROPERTY ASSESSMENT	
BASED ON THE REFINED STRUCTURE PLAN:	
GENERAL RESIDENTIAL - AREA	10.46 Ha
GENERAL RESIDENTIAL - No. LOTS	186 LOTS
TERRACED RESIDENTIAL - AREA	0.56 Ha
TERRACED RESIDENTIAL - No. LOTS	14 LOTS
COMPACT RESIDENTIAL - AREA	1.80 Ha
COMPACT RESIDENTIAL - No. LOTS	56 LOTS
HIGH DENSITY HOUSING - AREA	0.32 Ha
HIGH DENSITY HOUSING - No. LOTS	20 LOTS
R.O.W ACCESS LOTS - AREA	0.27 Ha
WDC COLLECTOR ROAD AREA	1.07 Ha
ROAD RESERVE AREA	6.87 Ha
UTILITY RESERVE AREA	0.04 Ha
STORMWATER RESERVE AREA	4.54 Ha
RECREATIONAL RESERVE AREA	0.58 Ha
NEIGHBOURHOOD CENTRE AREA	0.33 Ha
SUPER-LOT SITE	8.60 Ha
MOE SCHOOL SITE	3.99 Ha
FUTURE DEVELOPMENT SITE	1.41 Ha
<b>TOTAL AREA</b>	<b>40.84 Ha</b>
<b>TOTAL RESIDENTIAL LOTS</b>	<b>276 LOTS</b>
<b>TOTAL SUPER-LOT DWELLINGS (ASSUMED)</b>	<b>200 UNITS</b>
<b>GROSS DENSITY</b>	<b>15.1 LOTS/Ha</b>
<b>NET DENSITY</b>	<b>21.6 LOTS/Ha</b>

- NOTES**
- LAYOUT SHOWN IS INDICATIVE AND HAS BEEN DEVELOPED FOR COMPARISON PURPOSES ONLY
  - STRUCTURE PLAN SHOWN IS BASED ON THE APPROVED LAYOUT CONFIRMED AS PART OF PLAN CHANGE 7 INCLUDING AMENDMENTS WITHIN THE 3MS PROPERTY TO ACCOMMODATE CLIENT DEVELOPMENT REQUIREMENTS
  - PROPOSED SCHOOL SITE SHOWN HAS BEEN AMENDED TO ACHIEVE A MINIMUM LOT SIZE OF 4.0Ha (AS REQUESTED BY THE MINISTRY OF EDUCATION)
  - INDIVIDUAL RESIDENTIAL LOTS SHOWN ARE INDICATIVE ONLY AND ARE BASED ON THE FOLLOWING SIZE PARAMETERS:
    - COMPACT - LESS THAN 400m<sup>2</sup>
    - GENERAL - GREATER THAN 400m<sup>2</sup>

DESIGNED BY L. MCCAFFREY	DATE 25.08.20	DRAWN BY L. MCCAFFREY	DATE 25.08.20	APPROVED BY -	DATE -	APPROVAL STATUS <b>FOR INFORMATION</b>	PROJECT NAME 3M RESIDENTIAL DEVELOPMENT PROJECT
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REV	DESCRIPTION	BY	DATE
K	FOR INFORMATION	LPM	09.03.21
J	FOR INFORMATION	LPM	30.11.20
I	FOR INFORMATION	LPM	10.11.20
H	FOR INFORMATION	LPM	29.10.20

CLIENT NAME

DRAWING TITLE

3Ms PROPERTY LAYOUT  
ALTERNATIVE DEVELOPMENT LAYOUT

PRODUCED BY

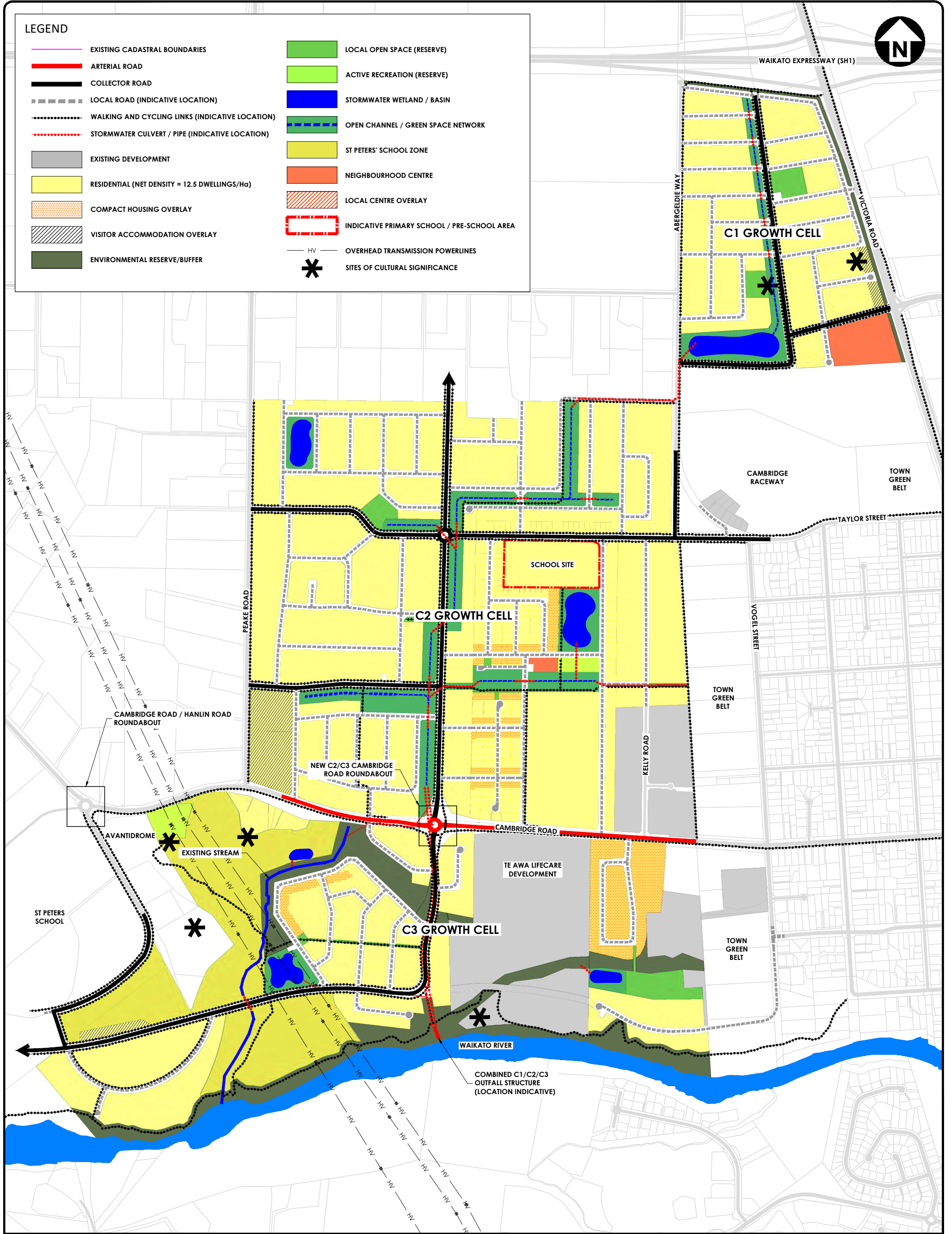
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DISCIPLINE CIVIL ENGINEERING	
DRAWING No. 17001-SK-094	

**STRUCTURE PLAN INTEGRATION  
DRAWINGS**



**LEGEND**

	EXISTING CADASTRAL BOUNDARIES		LOCAL OPEN SPACE (RESERVE)
	ARTERIAL ROAD		ACTIVE RECREATION (RESERVE)
	COLLECTOR ROAD		STORMWATER WETLAND / BASIN
	LOCAL ROAD (INDICATIVE LOCATION)		OPEN CHANNEL / GREEN SPACE NETWORK
	WALKING AND CYCLING LINKS (INDICATIVE LOCATION)		ST PETERS' SCHOOL ZONE
	STORMWATER CULVERT / PIPE (INDICATIVE LOCATION)		NEIGHBOURHOOD CENTRE
	EXISTING DEVELOPMENT		LOCAL CENTRE OVERLAY
	RESIDENTIAL (NET DENSITY = 12.5 DWELLINGS/Ha)		INDICATIVE PRIMARY SCHOOL / PRE-SCHOOL AREA
	COMPACT HOUSING OVERLAY		OVERHEAD TRANSMISSION POWERLINES
	VISITOR ACCOMMODATION OVERLAY		SITES OF CULTURAL SIGNIFICANCE
	ENVIRONMENTAL RESERVE/BUFFER		











**3MS** 3MS RESIDENTIAL DEVELOPMENT

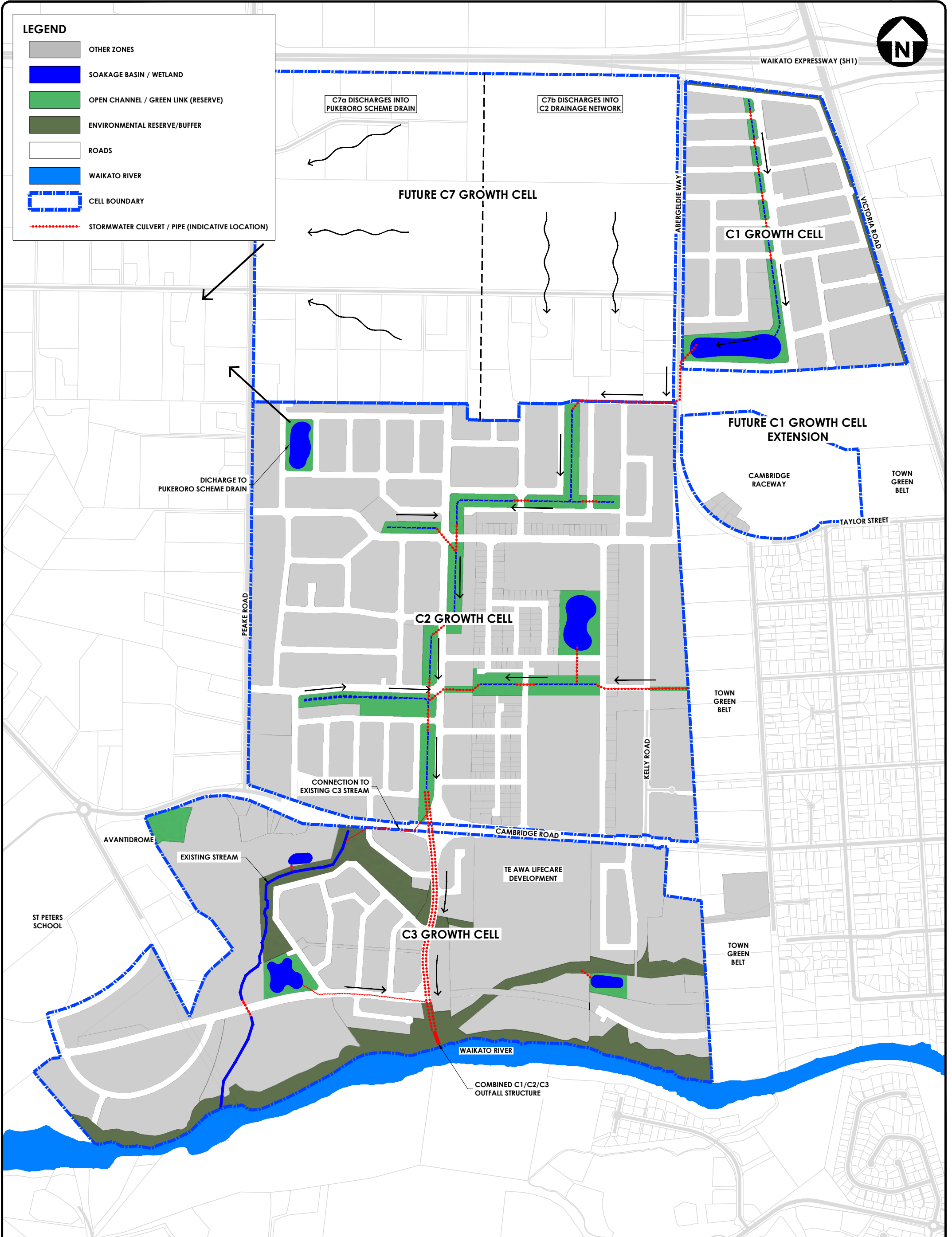
# STRUCTURE PLAN INTEGRATION GENERAL ARRANGEMENT





**LEGEND**

-  OTHER ZONES
-  SOAKAGE BASIN / WETLAND
-  OPEN CHANNEL / GREEN LINK (RESERVE)
-  ENVIRONMENTAL RESERVE/BUFFER
-  ROADS
-  WAIKATO RIVER
-  CELL BOUNDARY
-  STORMWATER CULVERT / PIPE (INDICATIVE LOCATION)



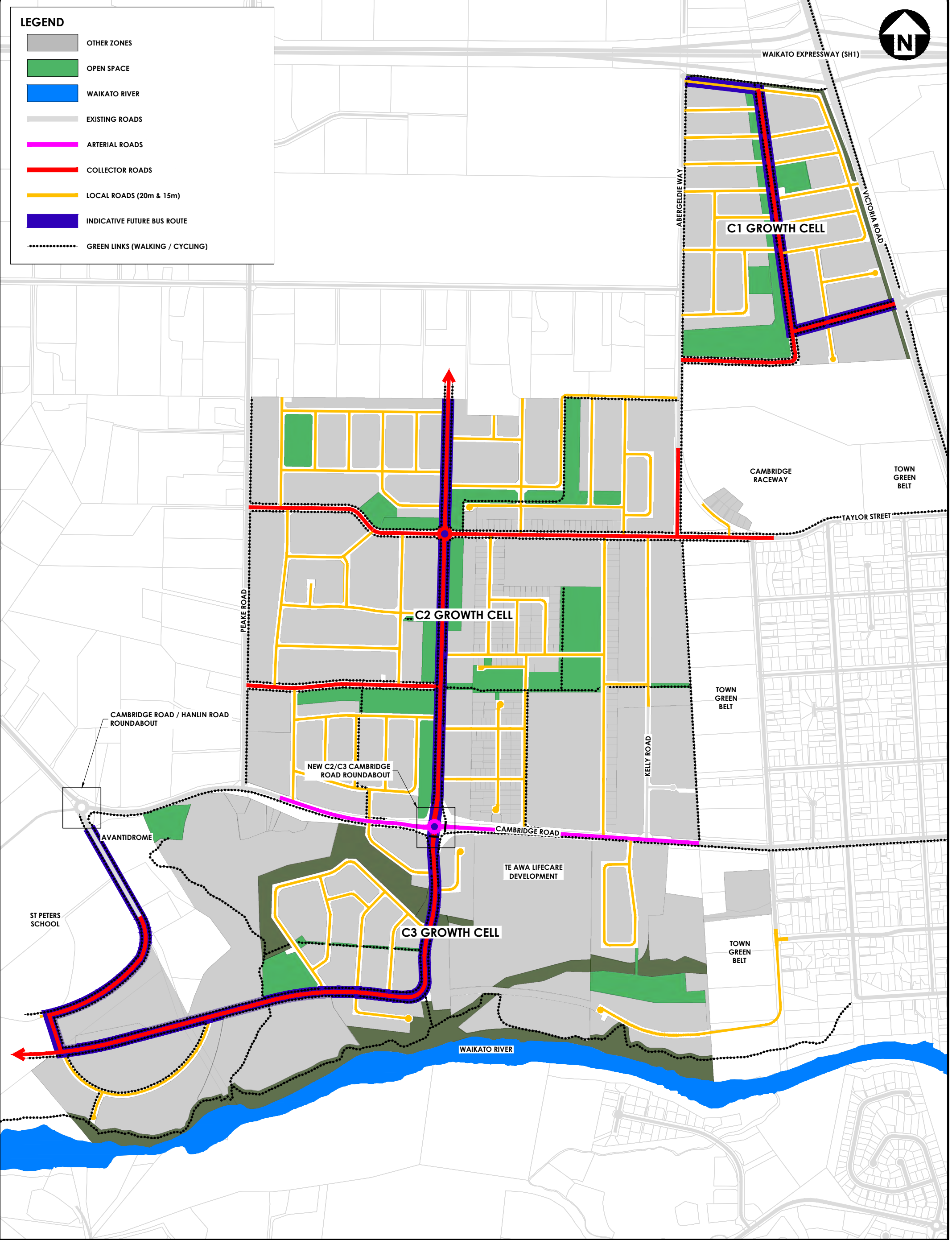
**3MS** 3MS RESIDENTIAL DEVELOPMENT

# STRUCTURE PLAN INTEGRATION STORMWATER NETWORK



**LEGEND**

- OTHER ZONES
- OPEN SPACE
- WAIKATO RIVER
- EXISTING ROADS
- ARTERIAL ROADS
- COLLECTOR ROADS
- LOCAL ROADS (20m & 15m)
- INDICATIVE FUTURE BUS ROUTE
- GREEN LINKS (WALKING / CYCLING)



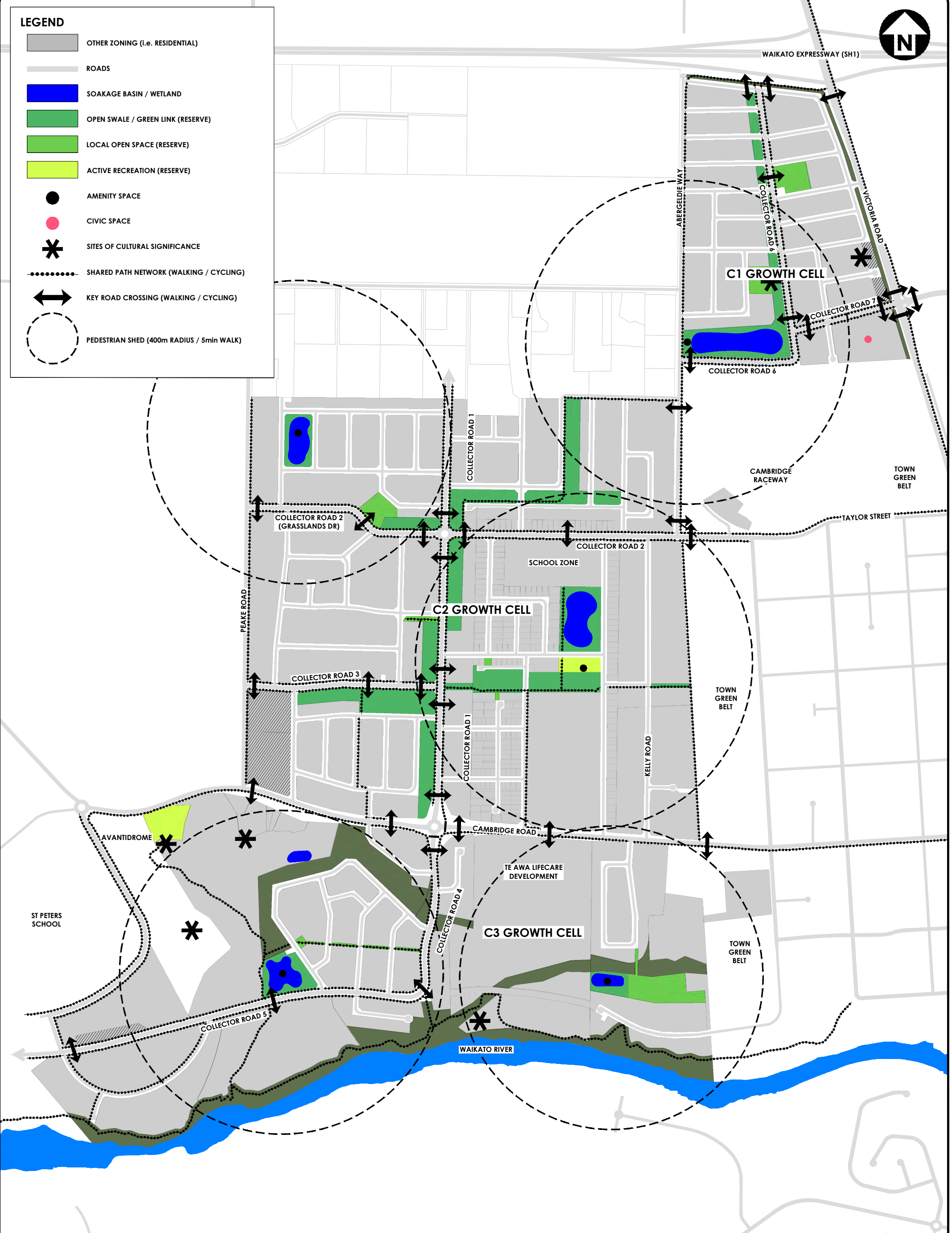
**3MS** 3MS RESIDENTIAL DEVELOPMENT

# STRUCTURE PLAN INTEGRATION TRANSPORT NETWORK




**LEGEND**

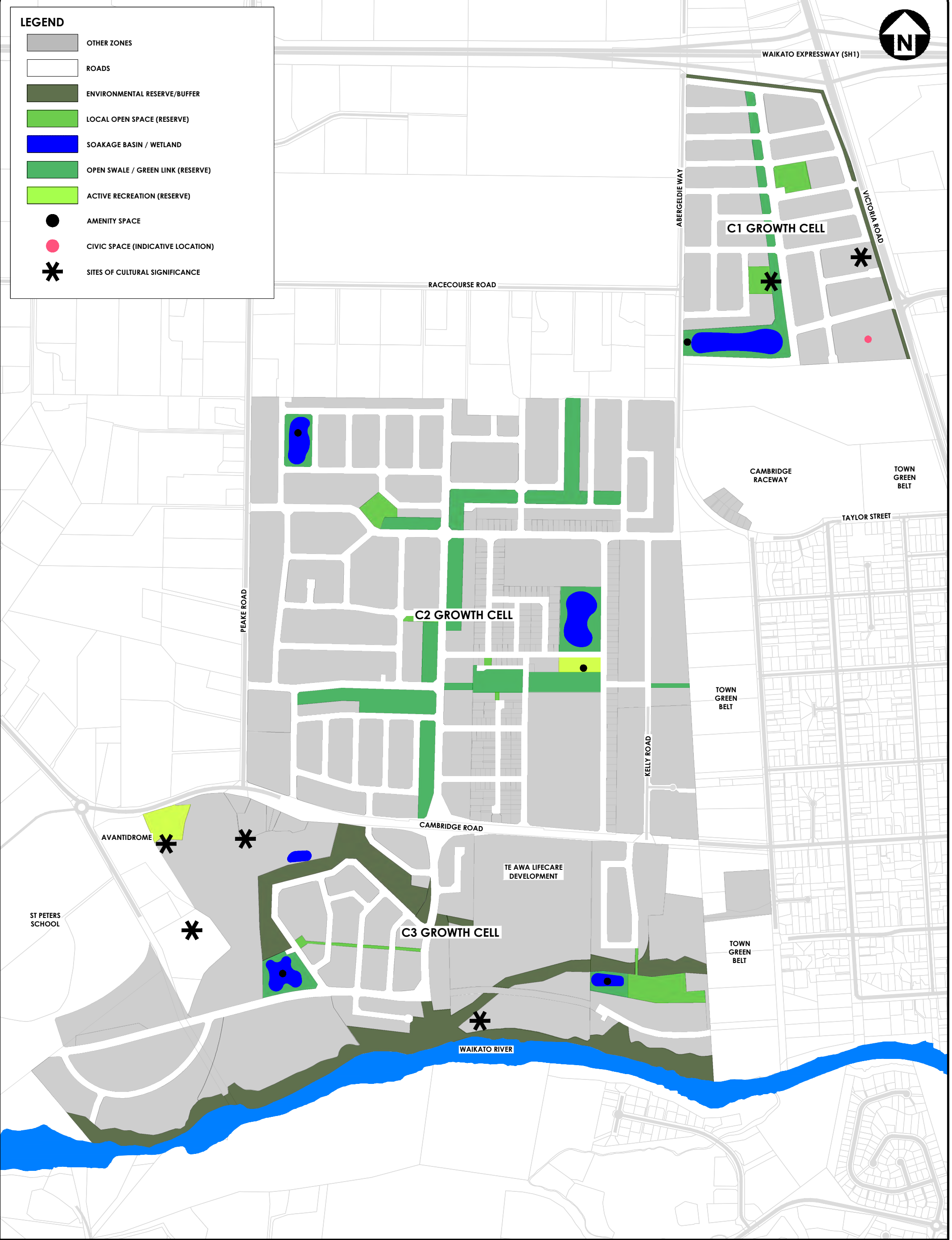
- OTHER ZONING (i.e. RESIDENTIAL)
- ROADS
- SOAKAGE BASIN / WETLAND
- OPEN SWALE / GREEN LINK (RESERVE)
- LOCAL OPEN SPACE (RESERVE)
- ACTIVE RECREATION (RESERVE)
- AMENITY SPACE
- CIVIC SPACE
- ✱ SITES OF CULTURAL SIGNIFICANCE
- SHARED PATH NETWORK (WALKING / CYCLING)
- KEY ROAD CROSSING (WALKING / CYCLING)
- PEDESTRIAN SHED (400m RADIUS / 5min WALK)





**LEGEND**

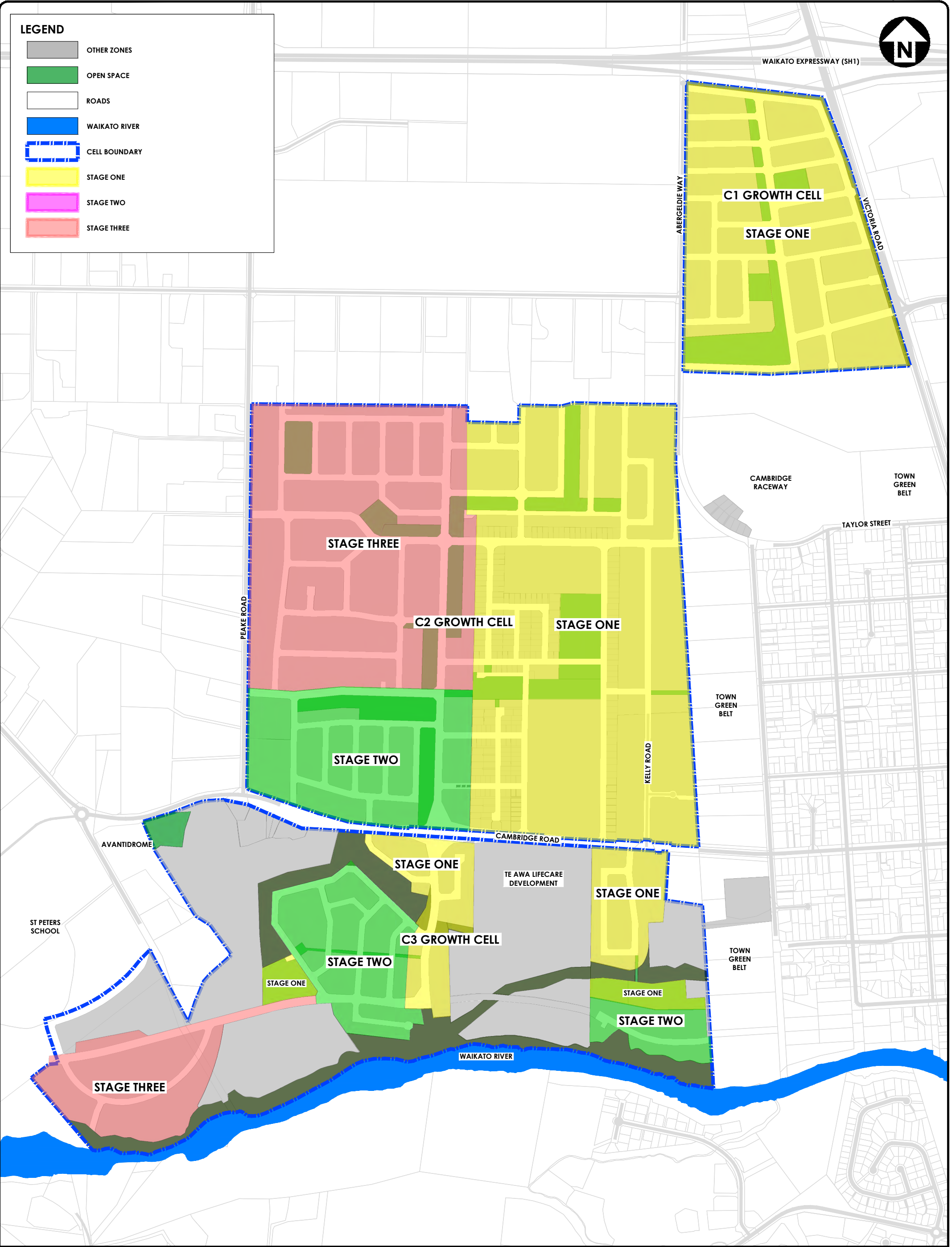
-  OTHER ZONES
-  ROADS
-  ENVIRONMENTAL RESERVE/BUFFER
-  LOCAL OPEN SPACE (RESERVE)
-  SOAKAGE BASIN / WETLAND
-  OPEN SWALE / GREEN LINK (RESERVE)
-  ACTIVE RECREATION (RESERVE)
-  AMENITY SPACE
-  CIVIC SPACE (INDICATIVE LOCATION)
-  SITES OF CULTURAL SIGNIFICANCE



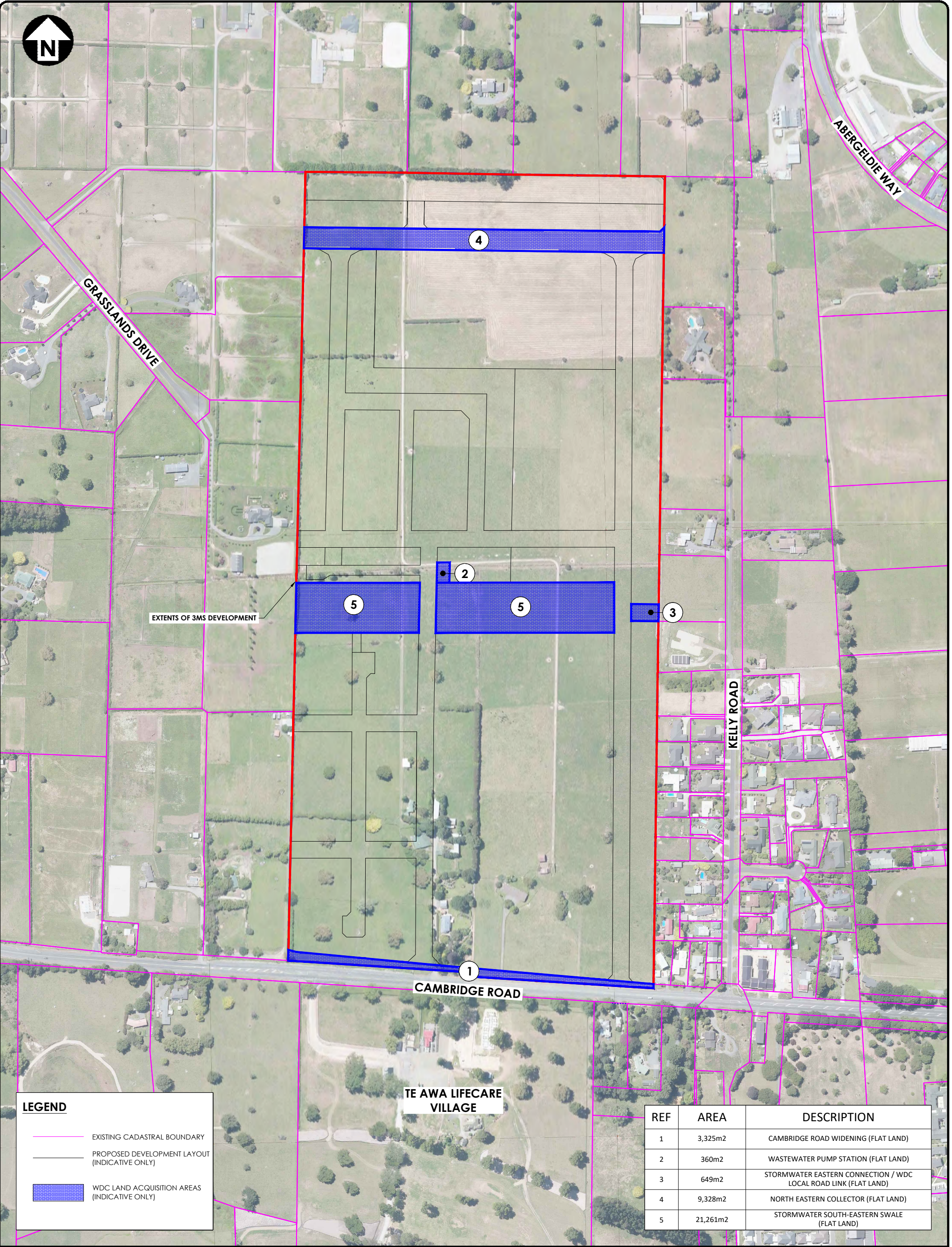


**LEGEND**



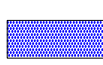
- OTHER ZONES
- OPEN SPACE
- ROADS
- WAIKATO RIVER
- CELL BOUNDARY
- STAGE ONE
- STAGE TWO
- STAGE THREE



**LAND REQUIREMENT PLANS**



**LEGEND**

-  EXISTING CADASTRAL BOUNDARY
-  PROPOSED DEVELOPMENT LAYOUT (INDICATIVE ONLY)
-  WDC LAND ACQUISITION AREAS (INDICATIVE ONLY)






REF	AREA	DESCRIPTION
1	3,325m <sup>2</sup>	CAMBRIDGE ROAD WIDENING (FLAT LAND)
2	360m <sup>2</sup>	WASTEWATER PUMP STATION (FLAT LAND)
3	649m <sup>2</sup>	STORMWATER EASTERN CONNECTION / WDC LOCAL ROAD LINK (FLAT LAND)
4	9,328m <sup>2</sup>	NORTH EASTERN COLLECTOR (FLAT LAND)
5	21,261m <sup>2</sup>	STORMWATER SOUTH-EASTERN SWALE (FLAT LAND)



# WDC LAND ACQUISITION UPDATED 3MS LAYOUT

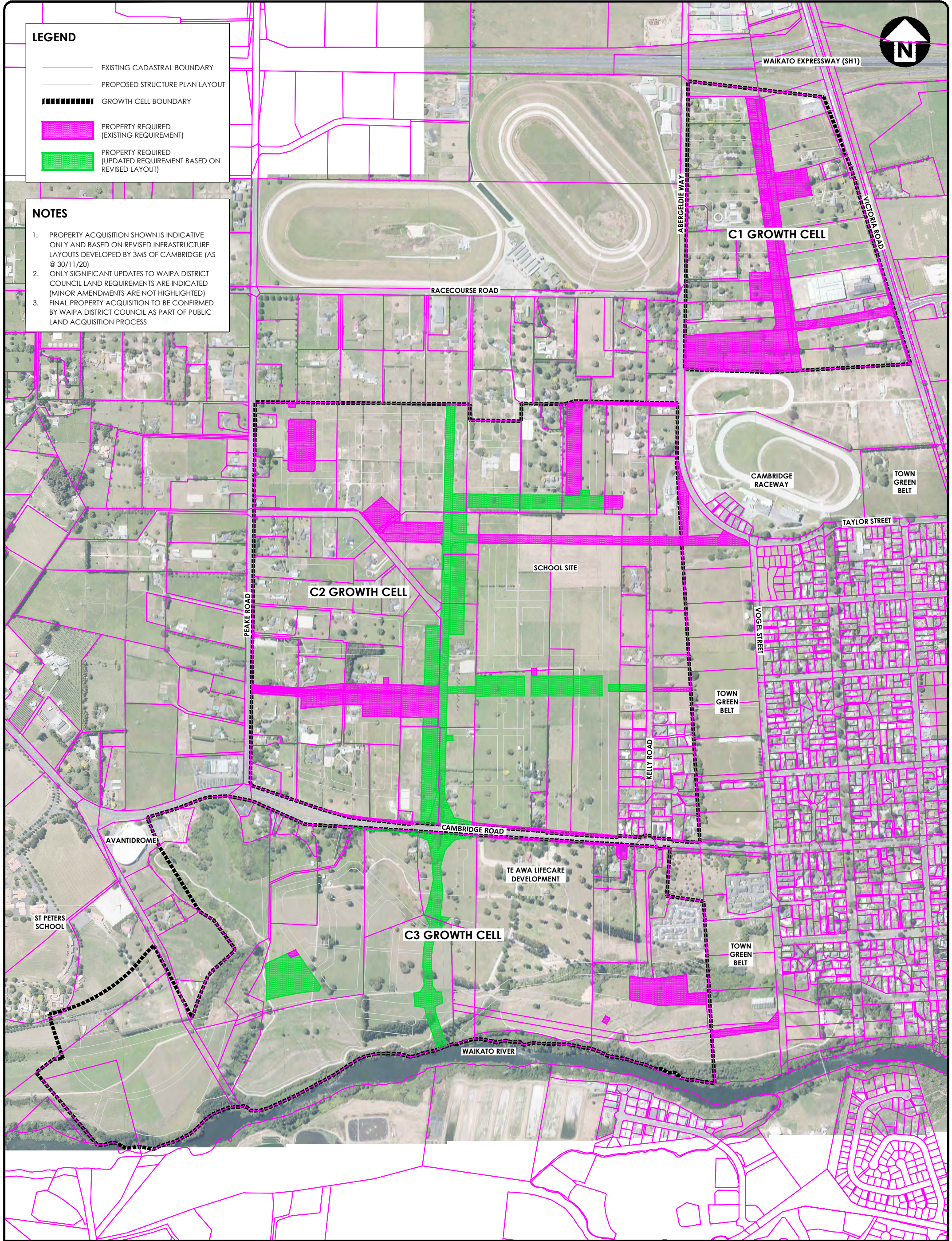


**LEGEND**

-  EXISTING CADASTRAL BOUNDARY
-  PROPOSED STRUCTURE PLAN LAYOUT
-  GROWTH CELL BOUNDARY
-  PROPERTY REQUIRED (EXISTING REQUIREMENT)
-  PROPERTY REQUIRED (UPDATED REQUIREMENT BASED ON REVISED LAYOUT)

**NOTES**

1. PROPERTY ACQUISITION SHOWN IS INDICATIVE ONLY AND BASED ON REVISED INFRASTRUCTURE LAYOUTS DEVELOPED BY 3MS OF CAMBRIDGE (AS @ 30/11/20)
2. ONLY SIGNIFICANT UPDATES TO WAIPA DISTRICT COUNCIL LAND REQUIREMENTS ARE INDICATED (MINOR AMENDMENTS ARE NOT HIGHLIGHTED)
3. FINAL PROPERTY ACQUISITION TO BE CONFIRMED BY WAIPA DISTRICT COUNCIL AS PART OF PUBLIC LAND ACQUISITION PROCESS







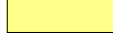


**3MS** 3MS RESIDENTIAL DEVELOPMENT

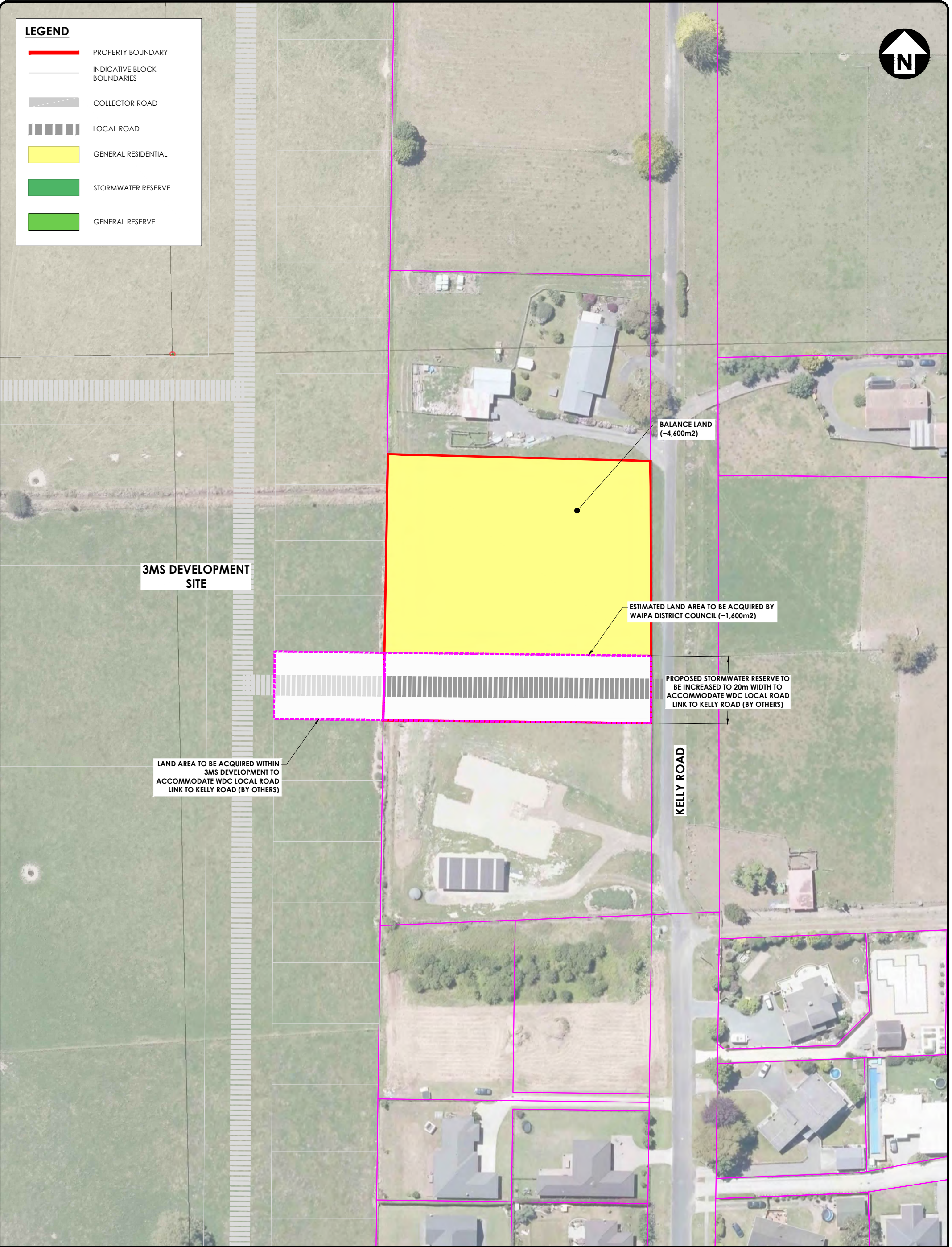
# STRUCTURE PLAN INTEGRATION REVISED LAND REQUIREMENT PLAN





**LEGEND**

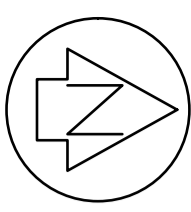
-  PROPERTY BOUNDARY
-  INDICATIVE BLOCK BOUNDARIES
-  COLLECTOR ROAD
-  LOCAL ROAD
-  GENERAL RESIDENTIAL
-  STORMWATER RESERVE
-  GENERAL RESERVE



**3MS** 3MS RESIDENTIAL DEVELOPMENT

# 44A KELLY ROAD UPDATED 3MS LAYOUT

**SCHEME PLAN**



- General Residential
- Compact Residential Overlay
- High Density Residential Overlay (Future Development)
- Terraced Residential Overlay (Future Development)
- Future Development Lot
- Neighbourhood Centre

Number of Lots:	242
Area of Sections:	122,560 m <sup>2</sup>
Area of Commercial:	3,294 m <sup>2</sup>
Area of High Density:	3,873 m <sup>2</sup>
Area of Future Dev.:	19,870 m <sup>2</sup>
Area of Retirement:	85,976 m <sup>2</sup>
Area of School:	39,907 m <sup>2</sup>
Area of ROW's:	1,879 m <sup>2</sup>
Area of Reserve:	52,541 m <sup>2</sup>
Area of Road:	78,458 m <sup>2</sup>
Avg. Lot Size:	508 m <sup>2</sup>
Max. Lot Size:	843 m <sup>2</sup>
Min. Lot Size:	284 m <sup>2</sup>
Yield / Ha:	13.6 households <i>(Yield excludes Commercial &amp; School Site)</i>

### Stage 1

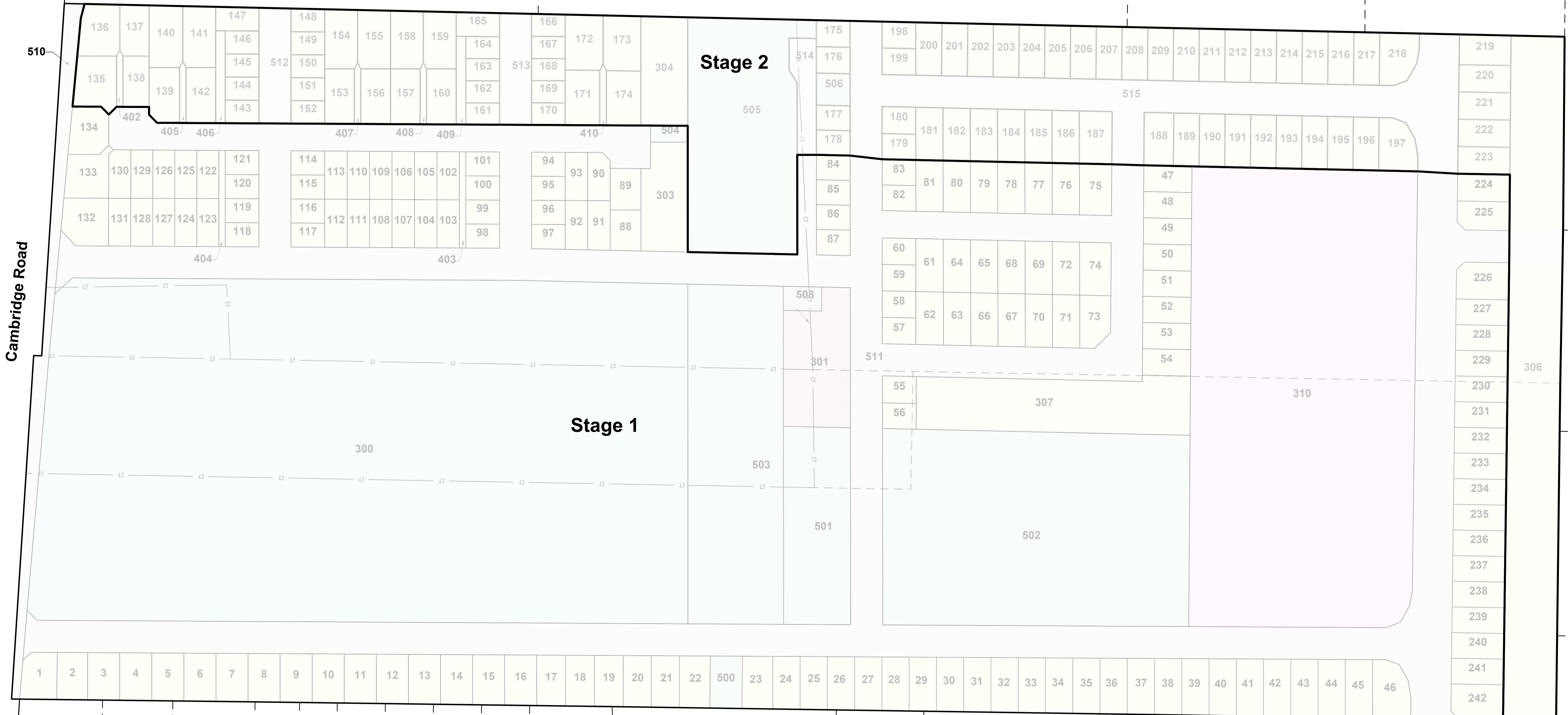
Memorandum of Easements			
Purpose/Interest	Shown	Servient Tenement (Burdened Land)	Dominant Tenement (Benefited Land)
Right of Way; Right to convey Electricity; Right to convey Telecommunications; Right to convey Gas; Right to convey Water; Right to drain Water; Right to drain Sewage.	Lot 400	Lot 400	Lots 56 – 60
	Lot 403	Lot 403	Lots 102 – 105
	Lot 404	Lot 404	Lots 122 – 125

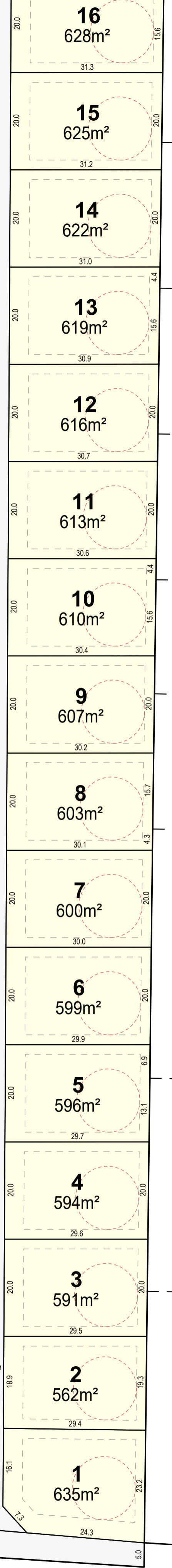
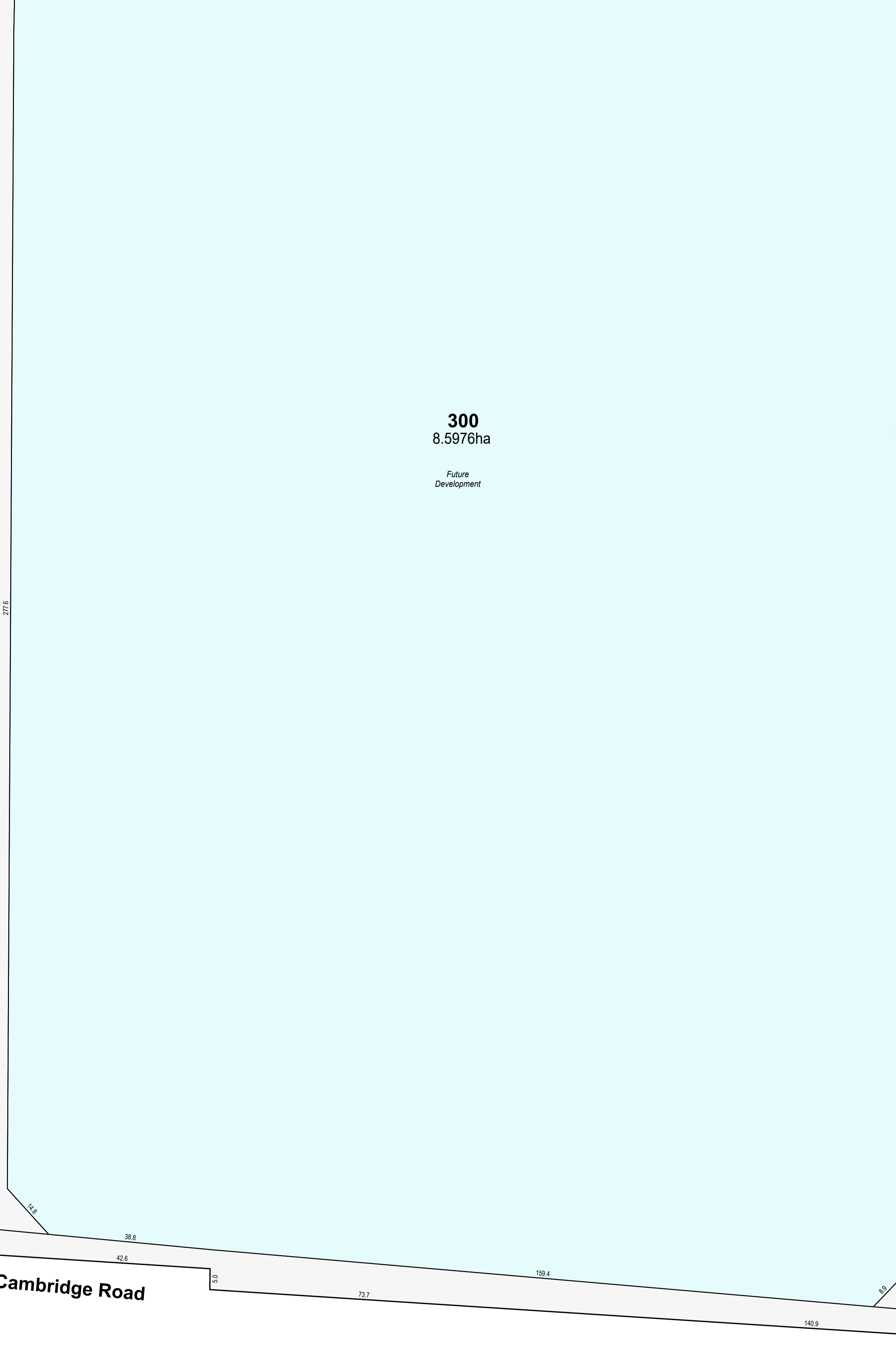
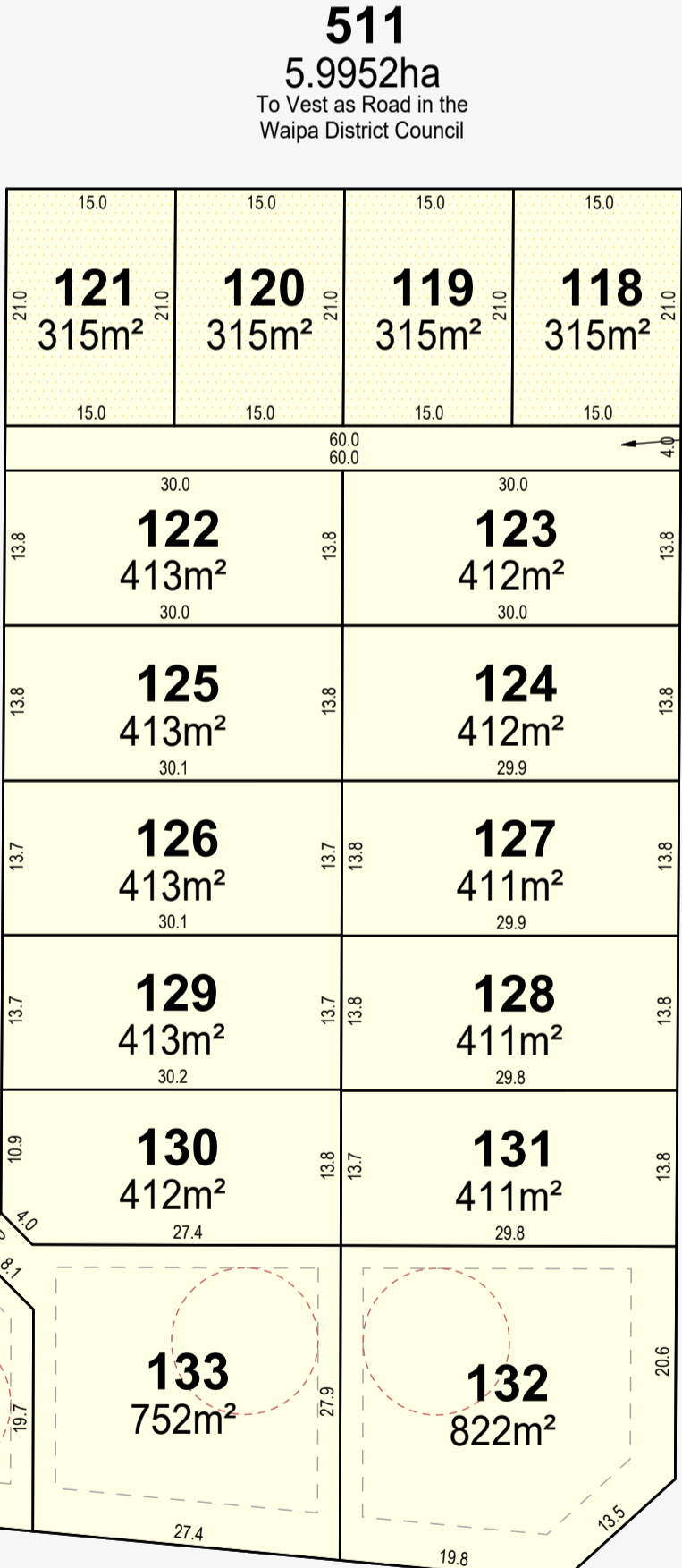
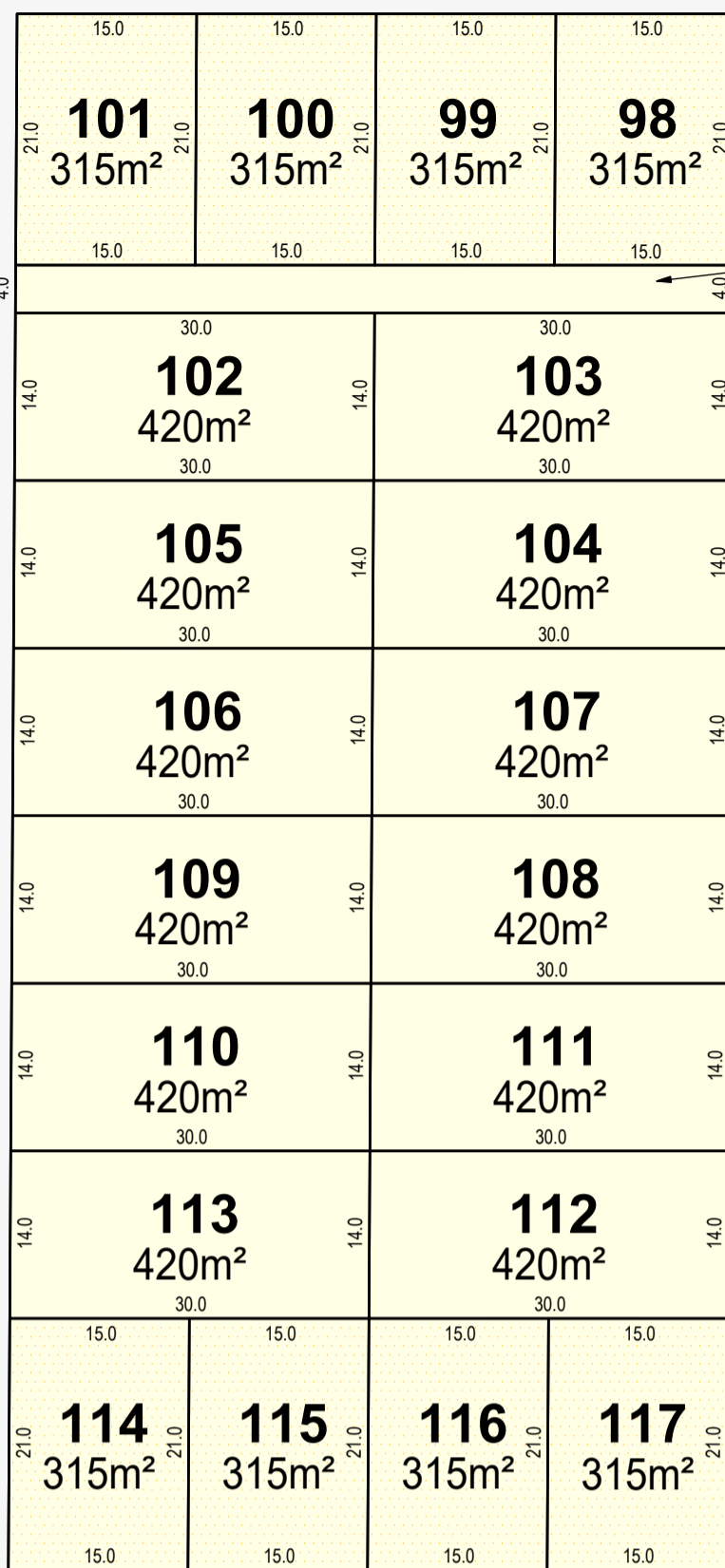
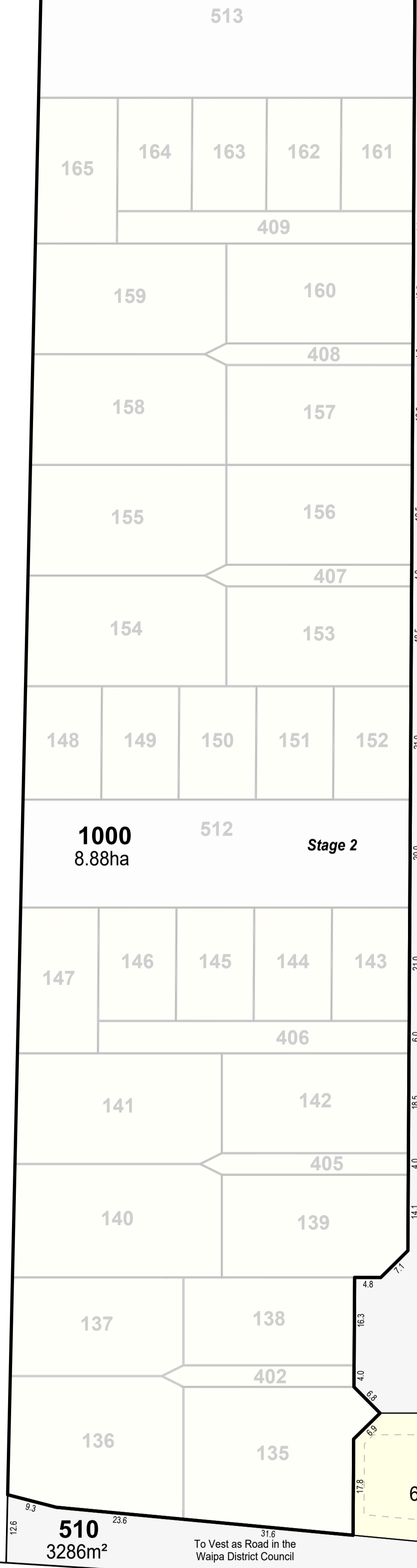
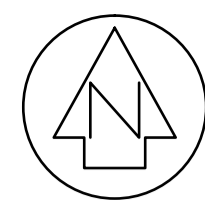
**AMALGAMATION CONDITIONS:**  
 That Lot 400 hereon (Legal Access) be held as to five undivided one-fifth shares by the owners of Lots 56, 57, 58, 59 and 60 hereon as Tenants in Common in the said shares and that individual Records of Title be issued in accordance therewith;  
 That Lot 403 hereon (Legal Access) be held as to four undivided one-quarter shares by the owners of Lots 102, 103, 104 and 105 hereon as Tenants in Common in the said shares and that individual Records of Title be issued in accordance therewith;  
 That Lot 404 hereon (Legal Access) be held as to four undivided one-quarter shares by the owners of Lots 122, 123, 124 and 125 hereon as Tenants in Common in the said shares and that individual Records of Title be issued in accordance therewith.

### Stage 2

Memorandum of Easements			
Purpose/Interest	Shown	Servient Tenement (Burdened Land)	Dominant Tenement (Benefited Land)
Right of Way; Right to convey Electricity; Right to convey Telecommunications; Right to convey Gas; Right to convey Water; Right to drain Water; Right to drain Sewage.	Lot 402	Lot 402	Lots 140 – 142
	Lot 405	Lot 405	Lots 144 – 146
	Lot 406	Lot 406	Lots 147 – 151
	Lot 407	Lot 407	Lots 158 – 160
	Lot 408	Lot 408	Lots 162 – 164
	Lot 409	Lot 409	Lots 165 – 169
Lot 410	Lot 410	Lots 176 – 178	

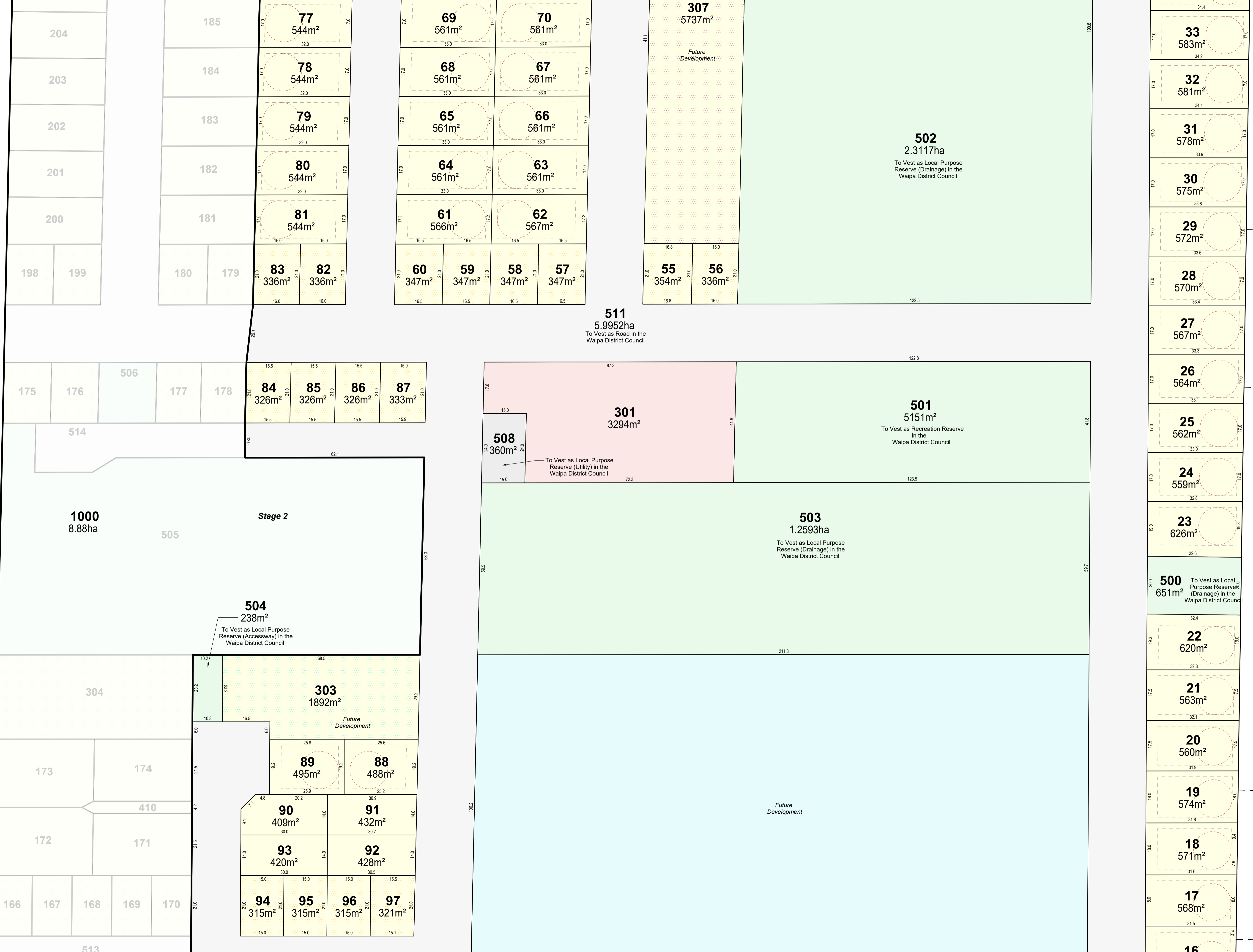
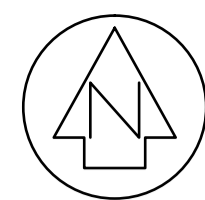
**AMALGAMATION CONDITIONS:**  
 That Lot 402 hereon (Legal Access) be held as to three undivided one-third shares by the owners of Lots 140, 141 and 142 hereon as Tenants in Common in the said shares and that individual Records of Title be issued in accordance therewith;  
 That Lot 405 hereon (Legal Access) be held as to three undivided one-third shares by the owners of Lots 144, 145 and 146 hereon as Tenants in Common in the said shares and that individual Records of Title be issued in accordance therewith;  
 That Lot 406 hereon (Legal Access) be held as to five undivided one-fifth shares by the owners of Lots 147, 148, 149, 150 and 151 hereon as Tenants in Common in the said shares and that individual Records of Title be issued in accordance therewith;  
 That Lot 407 hereon (Legal Access) be held as to three undivided one-third shares by the owners of Lots 158, 159 and 160 hereon as Tenants in Common in the said shares and that individual Records of Title be issued in accordance therewith;  
 That Lot 408 hereon (Legal Access) be held as to three undivided one-third shares by the owners of Lots 162, 163 and 164 hereon as Tenants in Common in the said shares and that individual Records of Title be issued in accordance therewith;  
 That Lot 409 hereon (Legal Access) be held as to five undivided one-fifth shares by the owners of Lots 165, 166, 167, 168 and 169 hereon as Tenants in Common in the said shares and that individual Records of Title be issued in accordance therewith;  
 That Lot 410 hereon (Legal Access) be held as to three undivided one-third shares by the owners of Lots 176, 177 and 178 hereon as Tenants in Common in the said shares and that individual Records of Title be issued in accordance therewith.





= 13mØ Building Shape Factor Circle,  
clear of 2m Side and Rear setback  
or 4m Road setback.

Cambridge Road

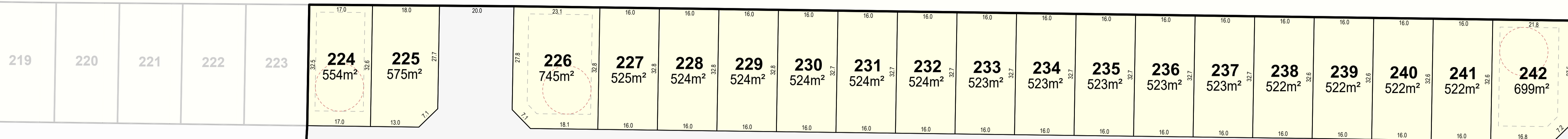




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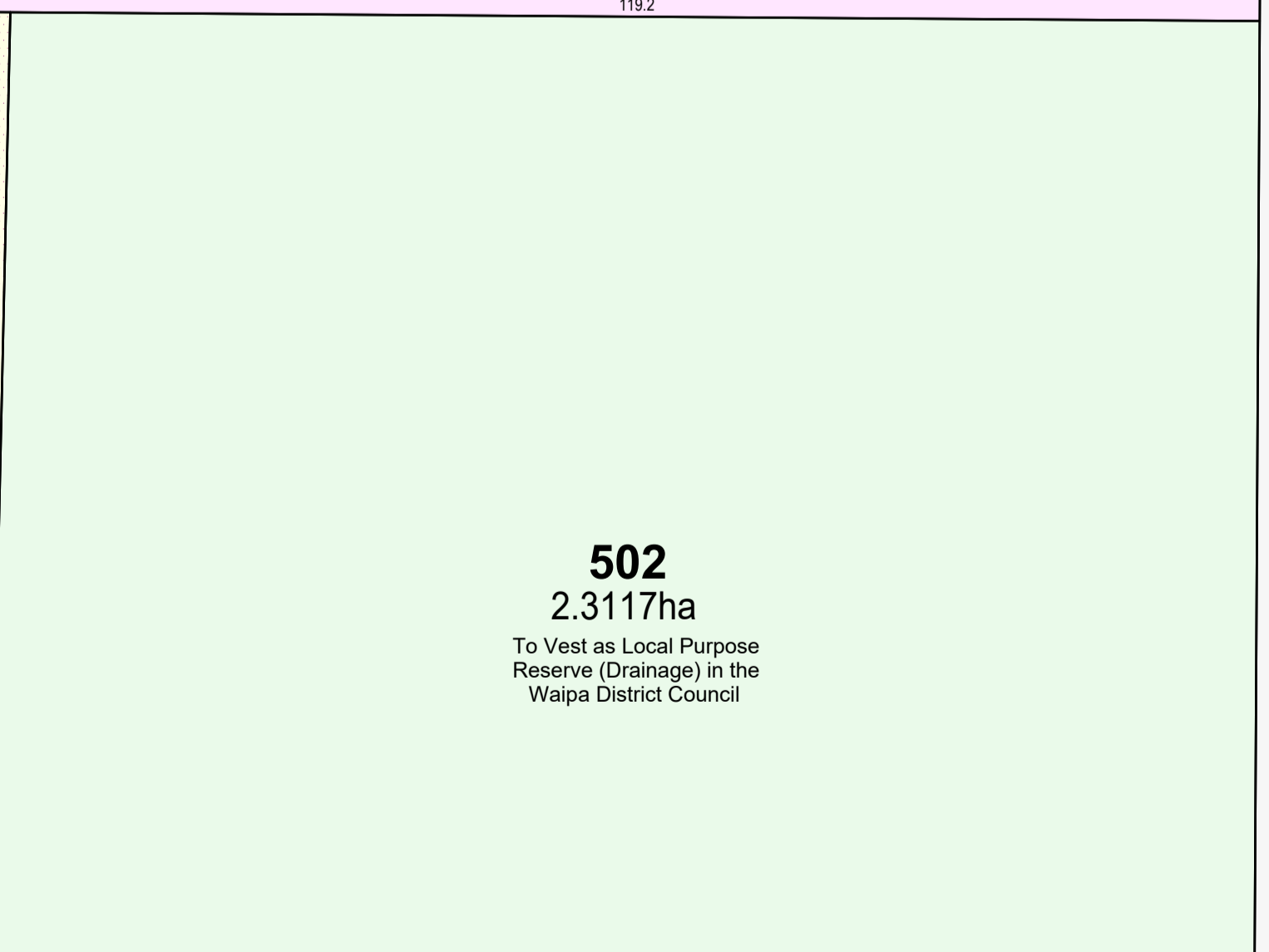
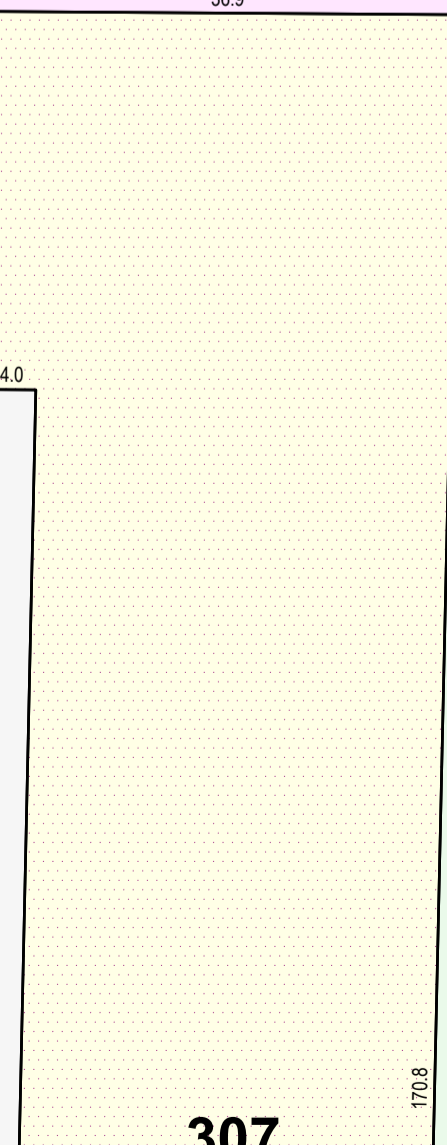
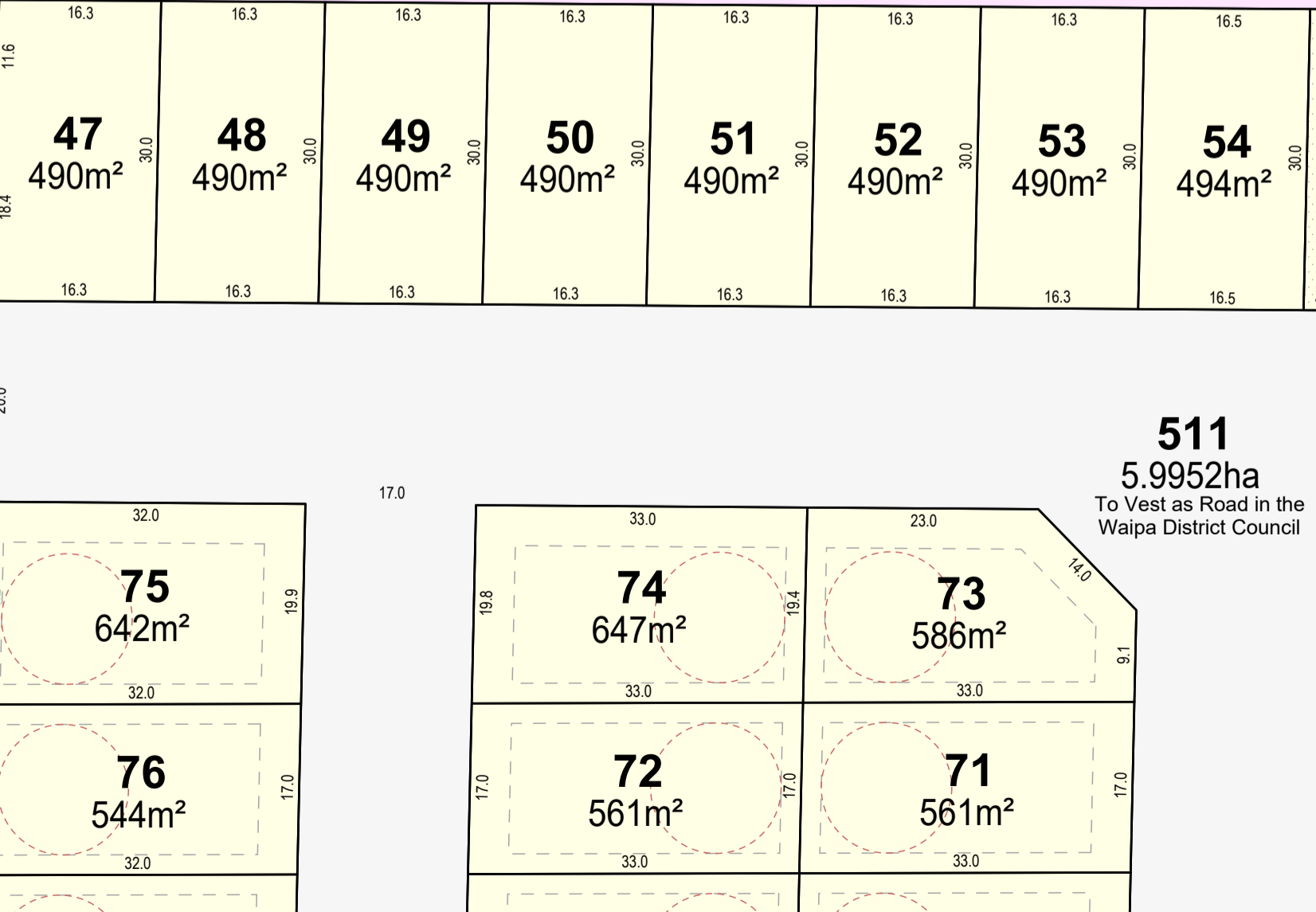
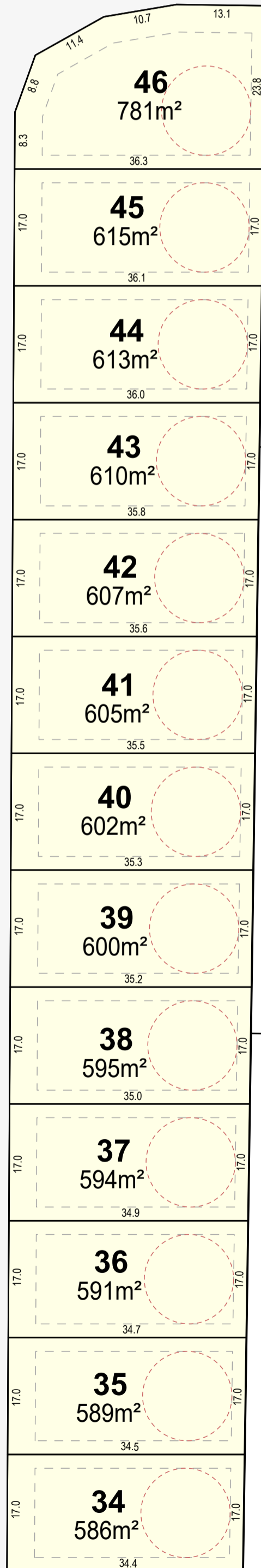
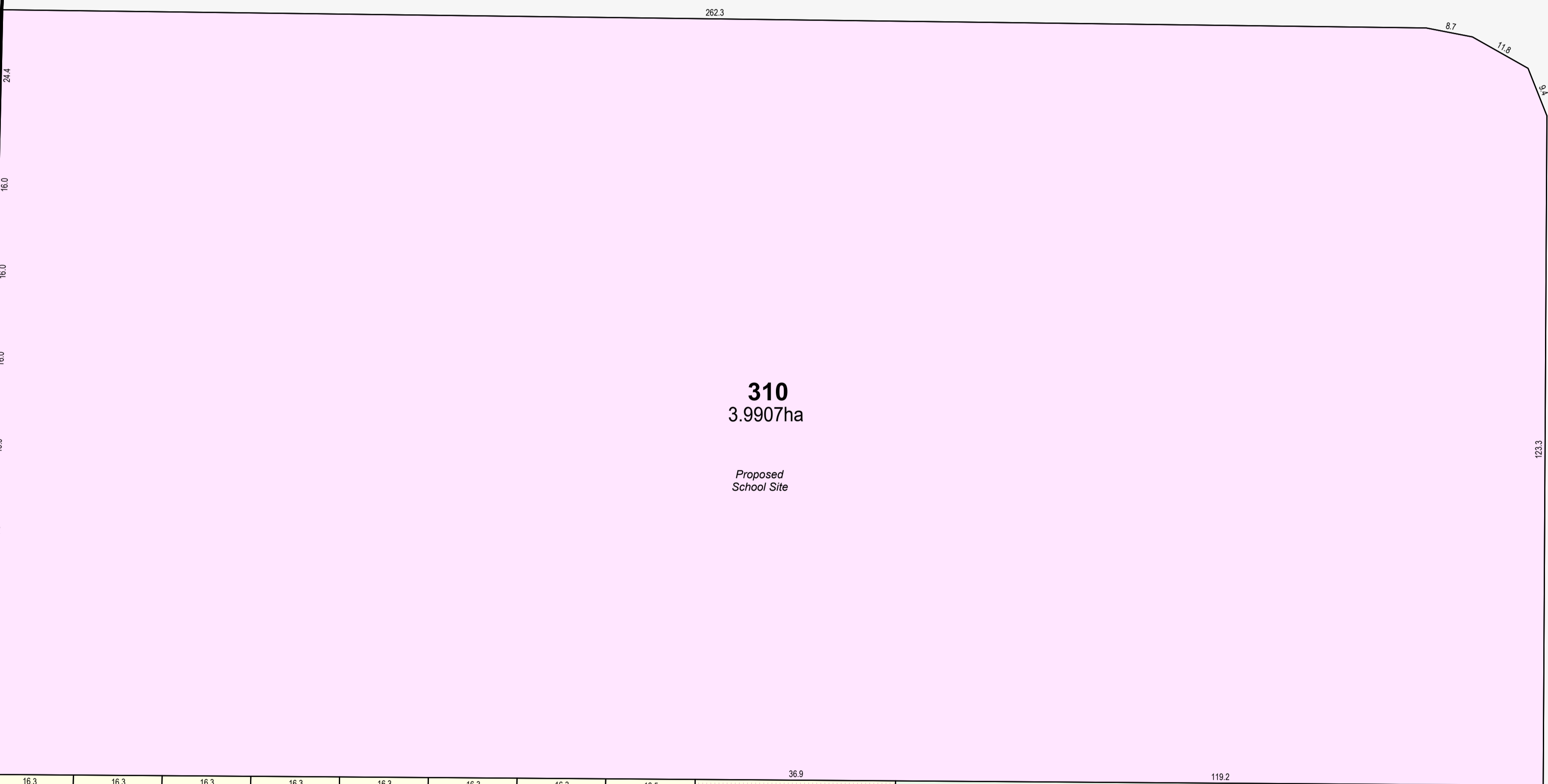
Future Development

Future Development



1000  
8.88ha

511  
5.9952ha  
To Vest as Road in the  
Waipa District Council

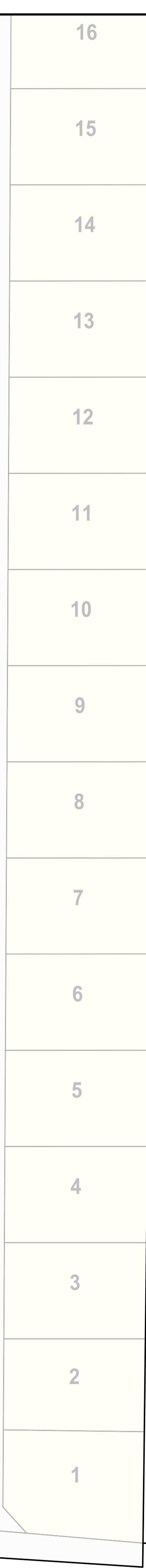
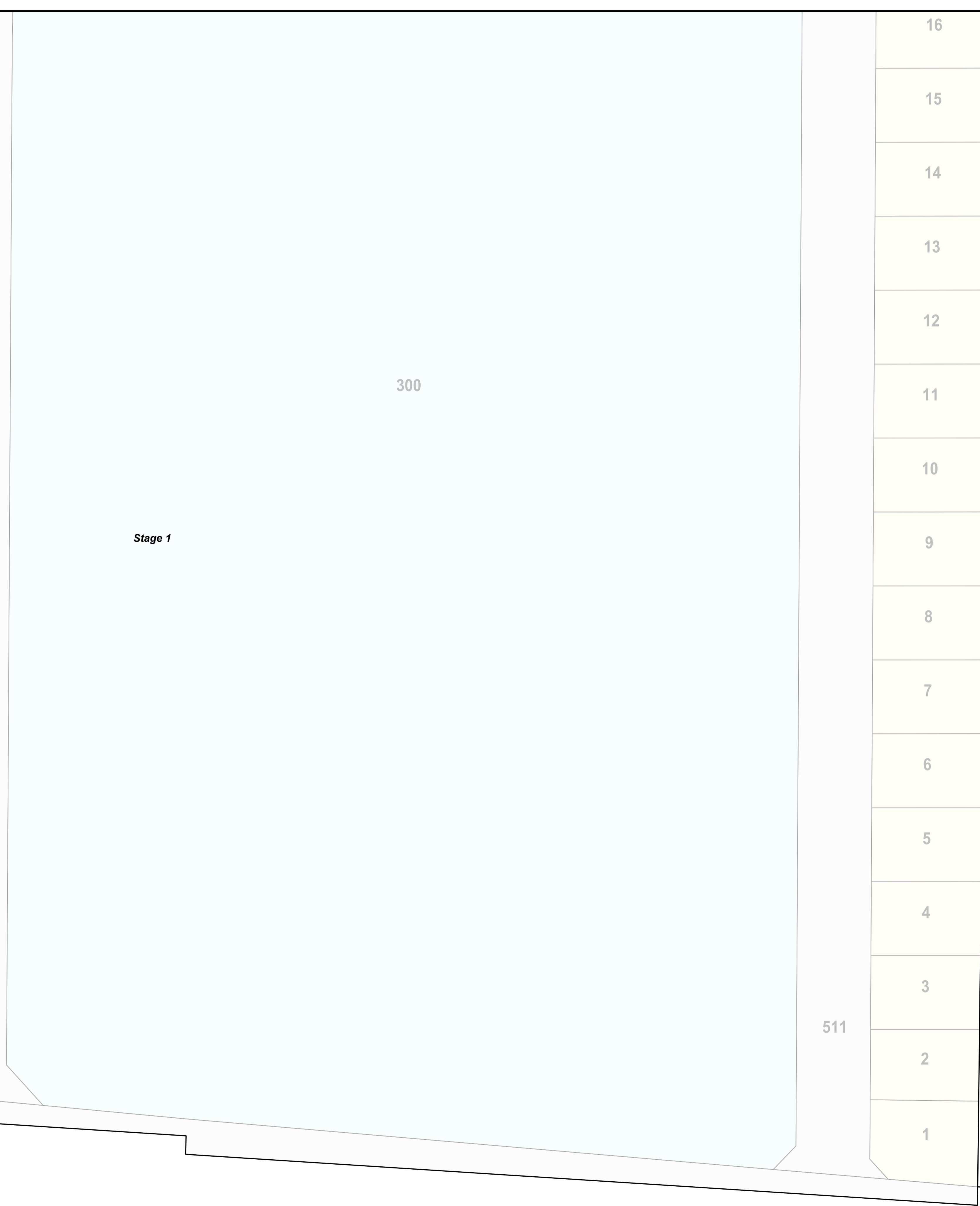
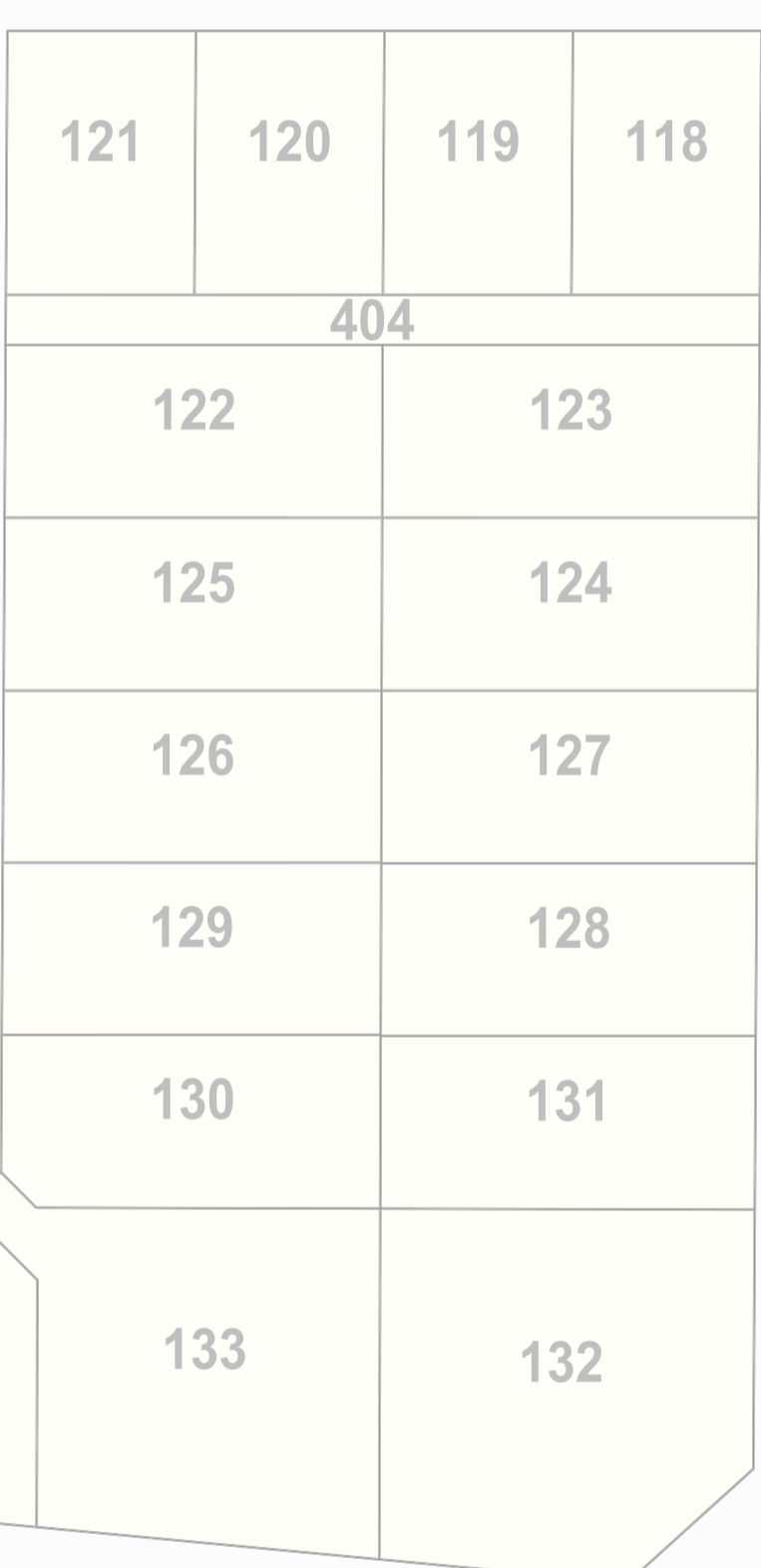
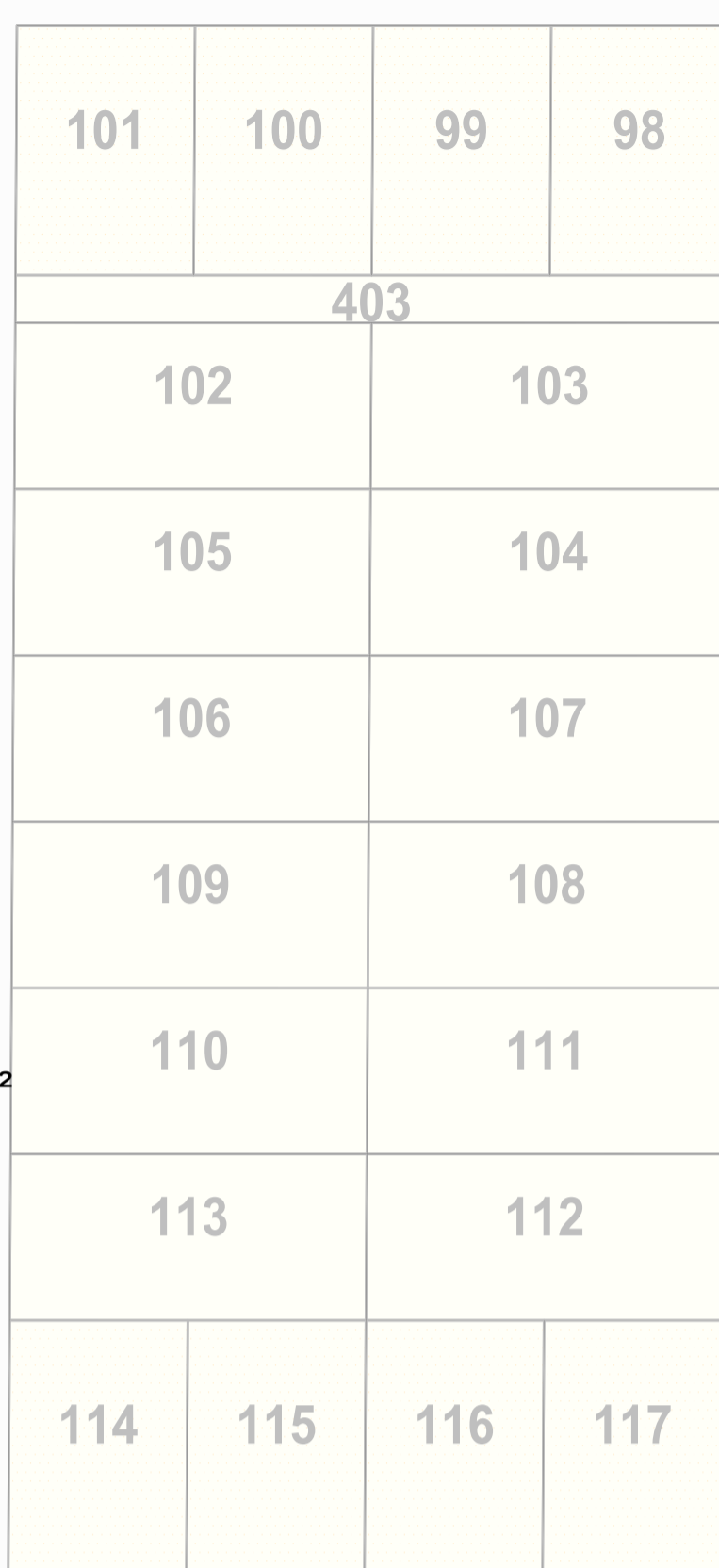
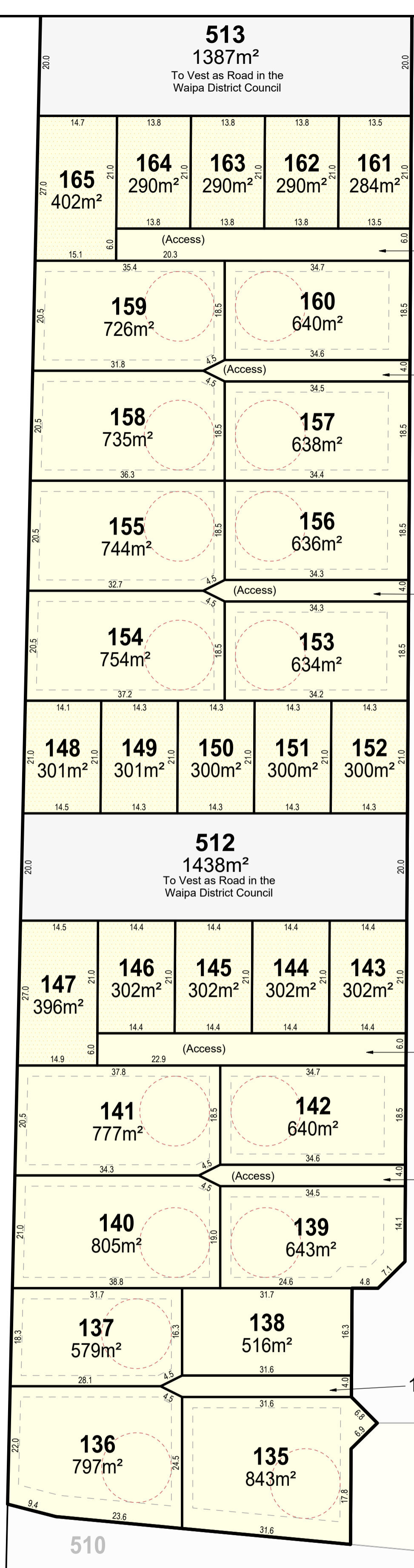
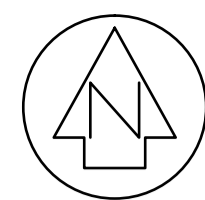


515

Stage 2

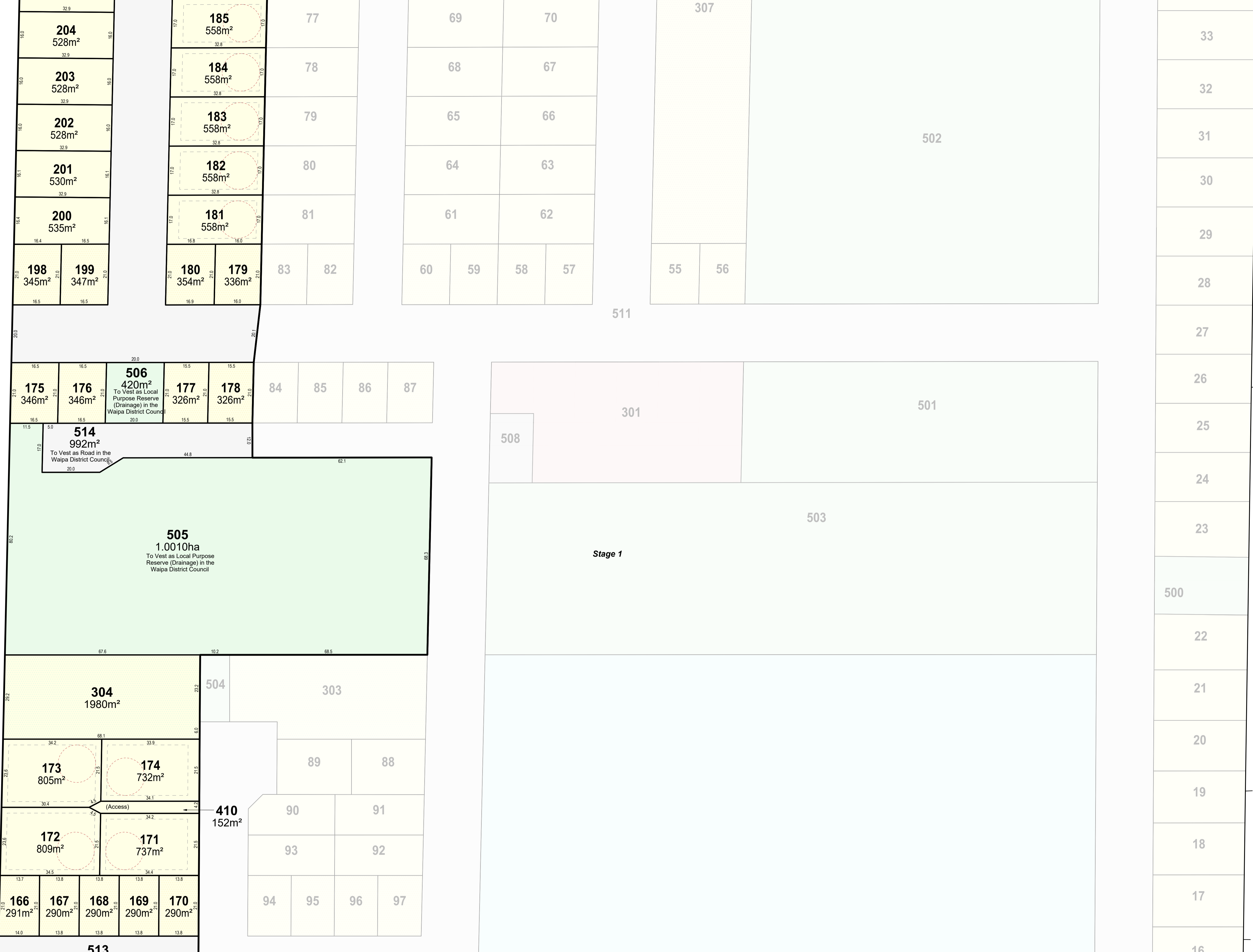
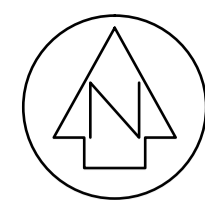
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5.9952ha  
To Vest as Road in the  
Waipa District Council



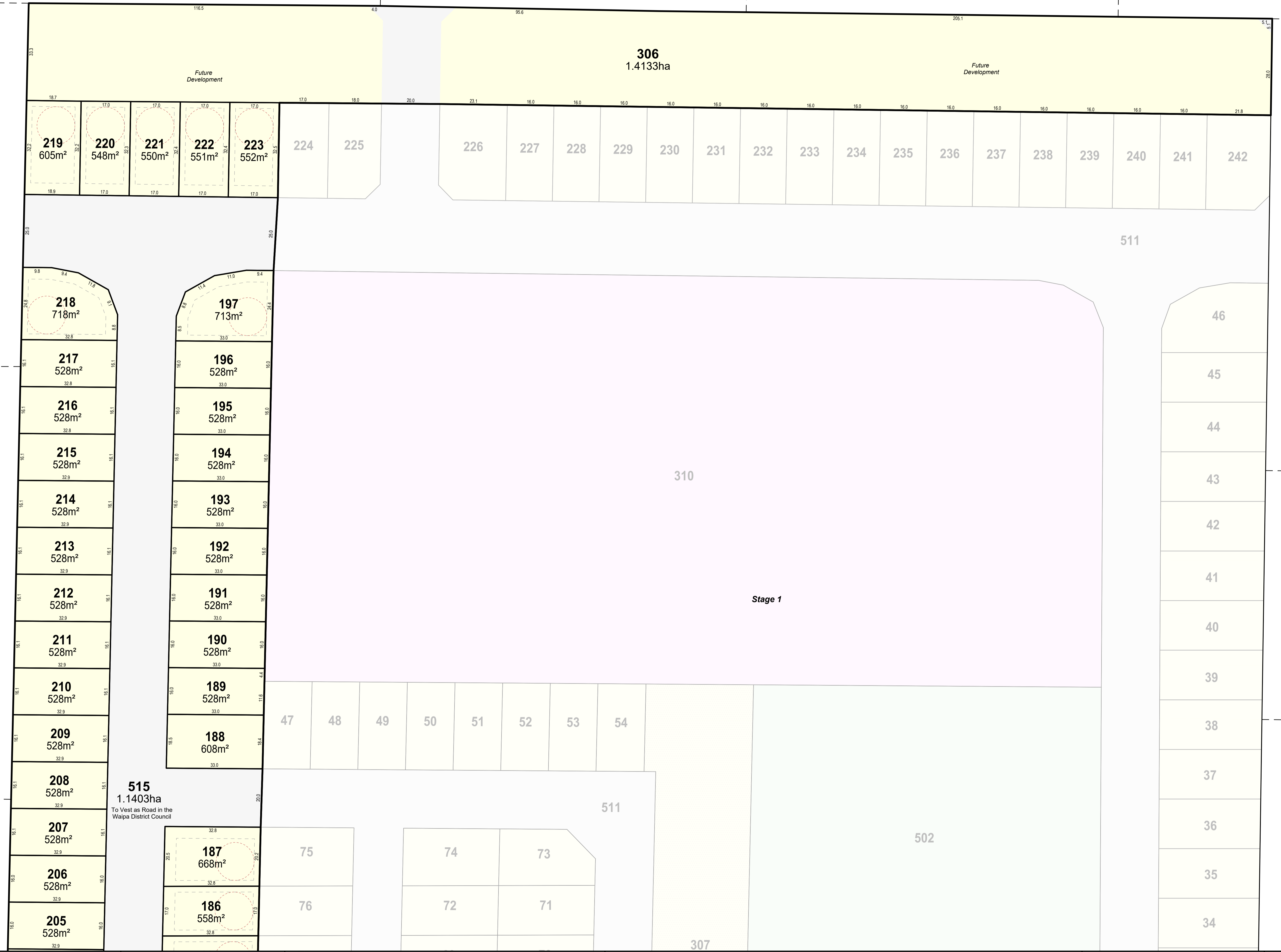


= 13mØ Building Shape Factor Circle,  
clear of 2m Side and Rear setback  
or 4m Road setback.











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3MS OF CAMBRIDGE GP LIMITED

**RESIDENTIAL DEVELOPMENT  
OF C2 GROWTH CELL**

**RESOURCE CONSENT  
APPLICATION AND ASSESSMENT  
OF ENVIRONMENTAL EFFECTS**

8 December 2020

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<b>Appendix J</b>	Letter from Te Awa Lifecare

## REPORT INFORMATION

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<b>Report Status</b>	FINAL
<b>Our Reference</b>	MDL000972 - 3MS RESIDENTIAL DEVELOPMENT OF C2 GROWTH CELL
<b>Author</b>	Abbie Fowler
<b>Review By</b>	Mark Chrisp, Lachlan Muldowney, Matt Smith and Aaron Ingoe
<b>Version Date</b>	8 December 2020

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**PART A**

Resource Consent Application

## **APPLICATION FOR RESOURCE CONSENT UNDER SECTION 88 OF THE RESOURCE MANAGEMENT ACT 1991**

To: Waipa District Council  
Private Bag 2402  
Te Awamutu 3840

3Ms of Cambridge GP Limited applies for the following resource consents:

- › **Subdivision consent** to enable the creation of 242 residential lots within the C2 Growth Cell in Cambridge and associated lots for public assets.

Resource consent is required from the Waipa District Council in accordance with the following rules of the Operative Waipa District Plan:

- › Rule 15.4.1.1(w) – Subdivision in a Deferred Zone – Non-Complying Activity;
- › Rule 15.4.2.1 (ac) – Residential Subdivision in the C1 and C2/C3 structure plan areas – Non-Complying Activity;
- › Rule 15.4.2.1 (ad) - Comprehensive Residential Subdivision in the C1 and C2/C3 structure plan areas, in accordance with Rule 15.4.1.1 (e) and Rule 15.4.2.62 - Non-Complying Activity;
- › Rule 15.4.2.3 - Lot frontage, lot shape factor and vehicle crossings (all other zones) – Discretionary Activity;
- › Rule 15.4.2.5 – Lot Design – Discretionary Activity;
- › Rule 15.4.2.7 – Lot Design – Discretionary Activity;
- › Rule 15.4.2.13 – Site Suitability: General – Non-Complying Activity;
- › Rule 15.4.2.65 – Roads – Discretionary Activity;
- › Rule 16.4.2.2 – Road Hierarchy - Discretionary Activity; and
- › Rule 16.4.2.5 - Vehicle entrance separation from intersections and other vehicle entrances – Discretionary Activity.

While the development would breach a number of Deferred Zone / Rural Zone land use rules, land use consent is not being sought at this present time. It is anticipated that at the time that dwellings will be constructed, Plan Change 13 will have rezoned the C1 and C2/C3 Growth Cells from Deferred Residential Zone to Residential Zone. In that regard, land use consent may be required at a later date.

The Waipa District Council application form is presented in **Appendix A**.

The activities are more fully described in Part B of this document.



**1. The names and addresses of the owner and occupier (other than the applicant) of any land to which the application relates are as follows:**

Not applicable

**2. The locations to which the applications relate are:**

- › 1881 Cambridge Road, Cambridge (legally described as Lot 2 DP 29023, Lot 1 DPS 75243 and Lot 1 DPS 31006 comprised in Record of Title SA56C/447);
- › 1871 Cambridge Road, Cambridge (legally described as Pt Lot 1 DP 29023 comprised in Record of Title SA31C/268);
- › 1863 Cambridge Road, Cambridge (legally described as Lot 1 DPS 85575 comprised in Record of Title SA68A/9); and
- › 1865 Cambridge Road, Cambridge (legally described as Lot 2 DPS 85575 comprised in Record of Title SA68A/10).

The Records of Title are presented in **Appendix B**.

It is noted that 3Ms recently obtained a subdivision consent from the Waipa District Council (SP/0136/20) authorising a five-lot subdivision (one additional lot) to create the titles for which public assets will eventually be located on. This consent will not be implemented.

**3. The activities to which these applications relate to are fully described in Part B of this document.**

**4. Other resource consents required**

3Ms has already obtained a land use consent for earthworks across the entire application site (LU/0166/20).

To enable the development, 3Ms also requires the following resource consents, which will be applied for separately:

- › **Water Permit** from the Waikato Regional Council to enable the permanent taking of water from a bore for irrigation and construction purposes, and to dewater the site during construction.
- › **Water Permit** from the Waikato Regional Council to divert a waterbody.
- › **Discharge Permit** from the Waikato Regional Council to use cleanfil on the site (i.e. sand, aggregate).
- › **Future Land Use Consent** from the Waipa District Council. While the development breaches a number of Deferred Zone / Rural Zone land use rules, land use consent is not being sought at this present time. It is anticipated that at the time that dwellings will be constructed, Plan Change 13 will have rezoned the C1 and C2/C3 Growth Cells from Deferred Residential Zone to Residential Zone. In that regard, land use consent may be required at a later date.

**5. Assessment of Environmental Effects**

Attached (as Part B of this document) in accordance with section 88 of, and Schedule Four to, the Resource Management Act 1991, is an assessment of environmental effects in the detail that corresponds with the scale and significance of the effects that the activities may have on the environment.

**6. Other information**

No other information is required to be included in the application by the district or regional plan or regulations.

Dated this 8th day of December 2020

Signature: 3Ms of Cambridge GP Limited  
by its duly authorised agents Mitchell Daysh Limited



---

Abbie Fowler

Associate

**Address for Service:** Mitchell Daysh Limited  
PO Box 1307  
HAMILTON 3240  
Attention: Abbie Fowler

**Telephone:** 021 385 991

**Email:** [abbie.fowler@mitchelldaysh.co.nz](mailto:abbie.fowler@mitchelldaysh.co.nz)

**Address for Billing:** 211 Zig Zag Road  
RD1  
CAMBRIDGE 3493  
Attention: Matt Smith

**Telephone:** 021 289 0576

**Email:** [matt@3msofcambridge.co.nz](mailto:matt@3msofcambridge.co.nz)

## EXECUTIVE SUMMARY

3Ms of Cambridge GP Limited (“3Ms”) is the owner of approximately 40 hectares of land located on the northern side of Cambridge Road, west of Kelly Road and the existing Cambridge Town Centre. 3Ms is seeking to subdivide its property to create 242 lots that will be used for residential purposes within the Cambridge C2 Structure Plan area.

3Ms had been working collaboratively with the Waipa District Council to deliver the public assets that the Structure Plan proposes to locate on the 3Ms site. This process included master planning, develop and detail design, and subsequent land acquisition discussions. This AEE includes information relating to the land valuation and acquisition process to demonstrate the extent to which 3Ms sought to progress the development based on the location of the public assets as shown on original structure plan. Regrettably, this process was not successful as 3Ms and the Waipa District Council were unable to reach agreement on the land acquisition. However, 3Ms remains committed to providing residential development in Cambridge and has therefore sought not to delay their development further by relying on the Waipa District Council land purchase process. Rather, 3Ms has prepared a scheme plan and site layout that is not reliant on the main trunk infrastructure being built (at least on its land), and is now proposing that the main north / south collector road and stormwater swale not be located on the 3Ms site. It is therefore likely that this infrastructure would need to be moved to the west of the 3Ms site (on properties held by other parties). This application is based on this updated layout.

It is acknowledged by 3Ms that this application will result in a minor spatial change to that which was anticipated in the C1 and C2/C3 Structure Plan. While 3Ms has no control over where the public assets are ultimately built if they are not located on land owned by 3Ms, to ensure that the outcomes of the C1 and C2/C3 Structure Plan can be achieved with the 3Ms “standalone option”, 3Ms has put a significant amount of work into preparing updated Structure Plans diagrams. This report demonstrates that the outcomes in the current approved Structure Plan can be achieved alongside the updated 3Ms development. Importantly, the wastewater and water supply infrastructure developed on the 3Ms site will still serve a larger area than just the 3Ms site. In respect of stormwater and roading, while the site can be “standalone” 3Ms is providing the optionality for its infrastructure to connect to the public infrastructure when built.

3Ms has undertaken significant technical work to understand what the effects of not having the key public assets on its land are and it is of the view that all of the outcomes of the Structure Plan can be achieved with the refined 3Ms layout. In that regard, it is considered that the development presented in this AEE is in general accordance with the Structure Plan. Not only is the proposal considered in general accordance, but there has also been significant effort undertaken by 3Ms to ensure that the proposal enhances development in the wider Structure Plan area.

In respect of the location of the north/south infrastructure, the impact of this application is that that infrastructure will not be located within the 3Ms development.

The following figure shows the proposed 3Ms development layout.

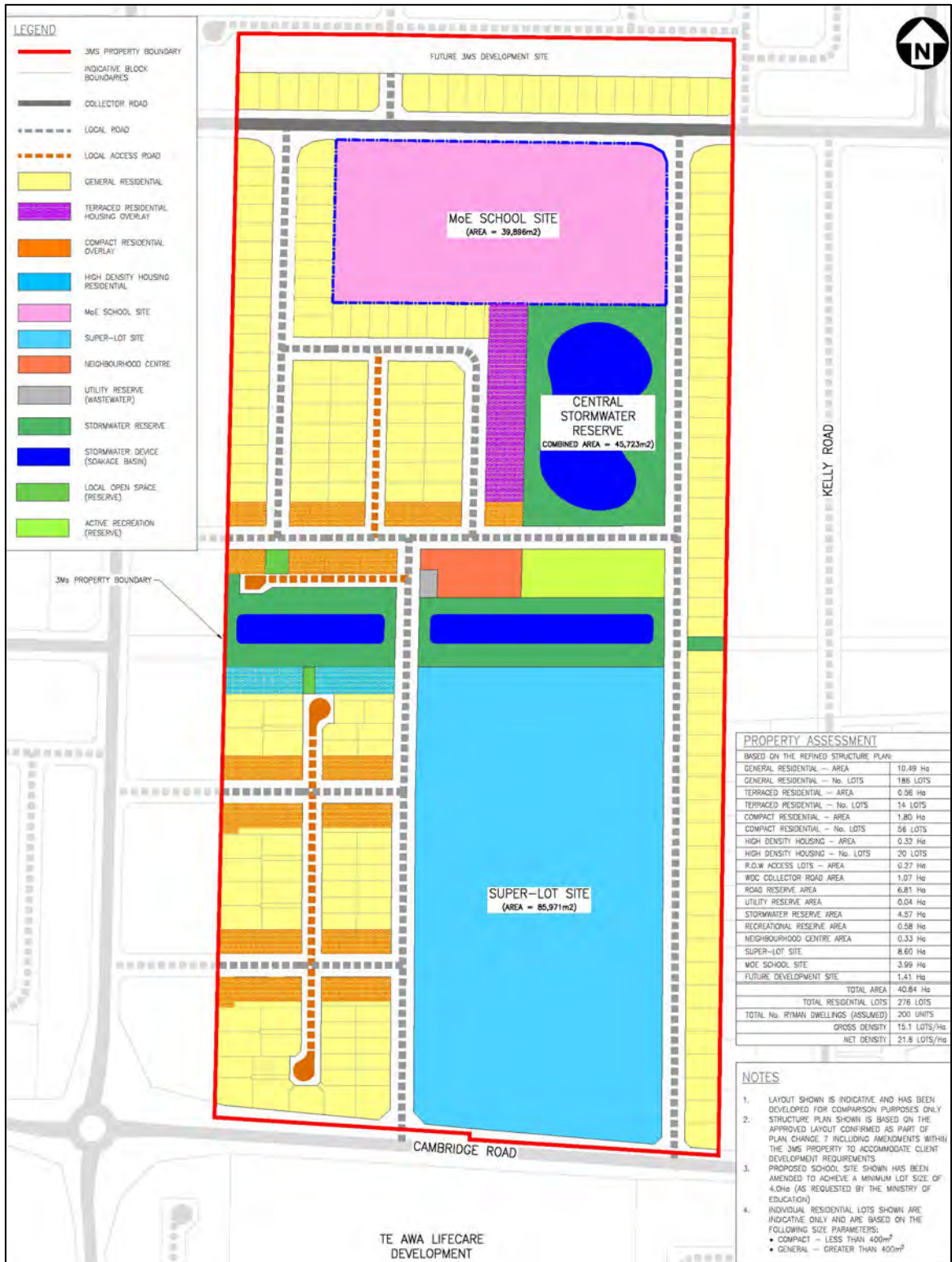


Figure 1. Proposed 3Ms Development

The technical reports commissioned to support this application have confirmed that the site can be appropriately serviced from a three waters and transportation perspective. The geotechnical assessment also confirms that the land is suitable for the intended residential use.

3Ms considers that there are substantial benefits to the 3Ms updated proposal. Although it is for the Waipa District Council to decide whether these are benefits to them, the benefits that 3Ms sees are:

- › Meets the Ministry of Education delivery programme, which is a key driver for 3Ms to progress its subdivision to ensure current classroom pressures within Cambridge schools can be alleviated as soon as practicable;
- › The updated layout retains the existing houses within the C2 Growth Cell;
- › The 3Ms layout provides a smaller active reserve that will include community playground facilities;
- › Provides additional walking and cycling links;
- › Has an improved collector road alignment, including through the C3 Growth Cell. St Peters School supports the updated collector road layout;
- › Additional soakage provided within the 3Ms property allows for further optimisation / capacity within the wider stormwater network.
- › Increases the discharge of stormwater onto or into land, supporting the Vision and Strategy for the Waikato River;
- › Provides additional reserve space within the C2 Growth Cell than that which was anticipated in the Structure Plan;
- › Minimises the initial Waipa District Council infrastructure investments by approximately \$44 million;
- › Delays the investment requirements in key stormwater/roading for up to 5 years to allow robust landowner engagement and acquisition process; and
- › Allows WDC to better programme investment based on section delivery / market demand.

3Ms is applying for the for the following consents under the Resource Management Act 1991 (“**RMA**”):

- › **Subdivision consent** to enable the creation of 242 residential lots within the C2 Growth Cell in Cambridge and associated lots for public assets.

Resource consent is required from Waipa District Council in accordance with the following rules of the Operative Waipa District Plan:

- › Rule 15.4.1.1(w) – Subdivision in a Deferred Zone – Non-Complying Activity;
- › Rule 15.4.2.1 (ac) – Residential Subdivision in the C1 and C2/C3 structure plan areas – Non-Complying Activity;
- › Rule 15.4.2.1 (ad) - Comprehensive Residential Subdivision in the C1 and C2/C3 structure plan areas, in accordance with Rule 15.4.1.1 (e) and Rule 15.4.2.62 - Non-Complying Activity;

- › Rule 15.4.2.3 - Lot frontage, lot shape factor and vehicle crossings (all other zones) – Discretionary Activity;
- › Rule 15.4.2.5 – Lot Design – Discretionary Activity;
- › Rule 15.4.2.7 – Lot Design – Discretionary Activity;
- › Rule 15.4.2.13 – Site Suitability: General – Non-Complying Activity;
- › Rule 15.4.2.65 – Roads – Discretionary Activity;
- › Rule 16.4.2.2 – Road Hierarchy - Discretionary Activity; and
- › Rule 16.4.2.5 - Vehicle entrance separation from intersections and other vehicle entrances – Discretionary Activity.

This application is not seeking a land use consent for the development. While the development would breach a number of Deferred Zone / Rural Zone land use rules, land use consent is not being sought at this present time. It is anticipated that at the time that dwellings will be constructed, Plan Change 13 will have rezoned the C1 and C2/C3 Growth Cells from Deferred Residential Zone to Residential Zone. In that regard, most the residential activities that will occur when the subdivision has been completed (around March 2022) will be Permitted Activities, but land use consent may be required at a later date for some aspects of the proposed development (e.g. compact housing). 3Ms, though it's development planning, had relied on the process for uplifting the deferred status of the C1 and C2/C3 Growth Cells that is enshrined in the Waipa District Plan, and the process which has been utilised by another developer in 2020 in the C3 Growth Cell. The change in approach from the Waipa District Council in moving away from an uplift via resource consent or council resolution has resulted in the 3Ms development having to proceed in the context of an inappropriate planning framework for residential development, while another developer in the C3 Growth Cell has had its site "re-zoned" via council resolution. This issue remains until the 3Ms site is re-zoned via Plan Change 13 to the Waipa District Plan from Deferred Residential Zone to a full Residential Zone. This issue is not of 3Ms making and in that regard, 3Ms is seeking the Waipa District Council to be pragmatic in processing this subdivision consent ahead of a land use consent. This approach will allow for the land use components of the development be carefully assessed against an appropriate Residential Zone planning framework in mid to late 2021.

A subdivision consent required from the Waipa District Council is a **Non-Complying Activity**. Therefore, the application needs to be considered in accordance with section 104D of the RMA. For the reasons presented in this report, it is considered that both of the 'gateway' tests in section 104D of the RMA are met, and Council can consider this application in accordance with section 104 of the RMA.

In accordance with section 104(1)(a) of the RMA, the actual and potential environmental effects have been assessed and are considered to be acceptable.

The following statutory documents have been considered in accordance with section 104(1)(b) of the RMA, and the proposal is considered to be consistent with the requirements of each:

- › The Vision and Strategy for the Waikato River
- › National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health;
- › National Policy Statement on Urban Development Capacity;
- › Waikato Regional Policy Statement; and
- › Waipa District Plan.

The National Policy Statement on Urban Development Capacity 2020 is directly relevant to this proposal, and reaffirms the need for residential development to occur. Based on the Hamilton to Auckland Corridor and Hamilton-Waikato Metro Spatial Plan Urban Growth Programme Indicatives document (dated 3 April 2020), development within the C1 and C2/C3 Growth Cells is an important aspect of the Waipa District achieving its targets under the National Policy Statement:

Development of the three 3 growth cells (C1 C2 C3) in Cambridge west will provide for urban growth with 2,500 new dwellings, a new primary school for 600 - 1,000 pupils, and a commercial centre.

The infrastructure construction works will provide employment as will construction of the new dwellings, school and commercial centre.

The housing development will be a mix of single, dwellings, apartments and multi-storey dwellings clustered near the Green Belt and C1 commercial centre.

...

The development of these growth cells is important in ensuring housing demand is matched by supply and that additional businesses in the Hautapu area, for example APL (the biggest window frame manufacturing company in NZ) who are in process of relocating to Cambridge, have housing nearby for staff. It is expected that associated businesses to APL will start relocating as well as new ones setting up.

This opportunity is strategically aligned and recognised in the Hamilton- Waikato Metro Spatial Plan (in progress), Futureproof Growth Strategy, and Waipa 2050 Growth Strategy

3Ms considers that its development will assist the Waipa District Council in implementing the requirements of the 2020 National Policy Statement on Urban Development.

In accordance with section 104(1)(c) of the RMA, the Waikato Tainui Environmental Management Plan and Ngati Hauā Iwi Environmental Plan have also been addressed and it is concluded that the proposal is consistent with the direction of those plans. 3Ms also considers that the change in approach from the Waipa District Council in uplifting the deferred status of the growth cells is an “other matter” to be considered as 3Ms would have been lodging a consent within the Residential Zone framework had this change in approach not occurred.

Given this proposal is seeking consent for the 3Ms development in a manner that does not include the north / south public assets, 3Ms seeks that this consent application be processed on a limited



notification basis to ensure the owners of the properties to the west of the 3Ms site are made aware of the potential implications.

It is also considered that the proposed development is consistent with the purpose of the RMA and there are no reasons why the resource consent should not be granted.

# 1. INTRODUCTION

## 1.1 PROJECT OVERVIEW

3Ms of Cambridge GP Limited (referred to as the “**Applicant**” or “**3Ms**”) is applying for a subdivision consent to subdivide its property, for residential development, at Cambridge Road, Cambridge.

3Ms is the owner of approximately 40 hectares of land located on the northern side of Cambridge Road, west of Kelly Road and the existing Cambridge Town Centre. 3Ms is seeking to subdivide its property to create 242 lots that will be used for residential purposes within the Cambridge C2 Structure Plan area.

The land to which the application relates is comprised of four separate Records of Title that collectively form ‘the application site’. All four titles are zoned ‘Deferred Residential’ and are located within the Cambridge C1 and C2/C3 Structure Plan Area. The Deferred Residential status of the land is able to be uplifted once the permanent stormwater solution has been consented, which is now the case, however the deferred residential status has currently not been uplifted due to the change in approach the Waipa District Council is taking to the uplifting of deferred zones (i.e. no longer via council resolution).

This application proposes some minor differences to the layout of the C2 Growth Cell from that which is shown in the C1 and C2/C3 Structure Plan. In this application, 3Ms is not proposing to have the north – south collector road and the north-south stormwater swale on its property. The result of this is that these public assets would likely move to the west of the 3Ms land, the final location of which is to be determined through Waipa District Council’s land acquisition process and strategy.

The objectives and policies of the Deferred Zones require that any development proposal within the deferred zones not compromise the future intended use of the zone / property. In this circumstance, the 3Ms subdivision will provide for residential development, which is the intended future use of the property under the Structure Plan (and will therefore not compromise the intended use of this area).

A subdivision consent application for the subject property was granted on 29 May 2020, SP/0136/20, which provides for the subdivision of land for public assets. This consent is not being progressed further by 3Ms. An earthworks consent has been granted that provides for earthworks associated with the development of the 3Ms subdivisions to provide for the future public assets, the school site and for the residential subdivision that is the subject of this application.

3Ms is proposing to subdivide its land in two stages. For the avoidance of doubt, this application is seeking a subdivision consent and for both stages.

The proposal requires resource consent as a **Non-Complying Activity** under the provisions of the Waipa District Plan.

## 1.2 PROJECT BACKGROUND

3Ms has been preparing plans to develop its 40-hectare site into residential lots for over three years. 3Ms was actively involved in Plan Change 7 which rezoned the C2 Growth Cell from Rural Zone to Deferred Zone, and inserted the C1 and C2/C3 Structure Plan into the Waipa District Plan. As part of Plan Change 7, and through its submission on the plan change, 3Ms also had significant input into the refinement of the Structure Plan including the spatial layout of the Structure Plan. 3Ms has been committed to the delivery of the Structure Plan infrastructure in a cost effective and timely manner to ensure that residential lots are delivered to the Cambridge market.

Following Plan Change 7 becoming operative, 3Ms had been working with the Waipa District Council to deliver the public assets that the Structure Plan proposes to locate on the 3Ms site. This included obtaining a subdivision consent which sought to create a single lot which Waipa District Council would purchase and within which the public assets would ultimately be built. A key component of this process was Waipa District Council providing 3Ms with an offer to purchase the land. Unfortunately, this purchase / valuation process has not been resolved and 3Ms, as of Friday 4 December 2020, never received an offer from Waipa District Council to purchase the land. **Appendix C** of this AEE provides a record of some of the communications had with the Waipa District Council and shows the extent to which 3Ms sought to progress its development, which included the purchase of the public asset land by the Waipa District Council. Despite this process not being resolved in a manner satisfactory to both parties, 3Ms is committed to providing residential development in Cambridge and has therefore sought not to delay this further by relying on the land purchase process. Rather, 3Ms has prepared a scheme plan and site layout that is not reliant on the main trunk infrastructure being built (at least on its land), and is now proposing that the main north / south collector road and stormwater swale not be located on the 3Ms site. It is therefore likely that this infrastructure would need to be moved to the west of the 3Ms site (on properties held by other parties).

It is acknowledged by 3Ms that this application will result in a minor spatial change to that which was anticipated in the C1 and C2/C3 Structure Plan. While 3Ms has no control over where the public assets are ultimately built if they are not located on land owned by 3Ms, to ensure that the outcomes of the C1 and C2/C3 Structure Plan can be achieved with the 3Ms “standalone option”, 3Ms has put a significant amount of work into preparing updated Structure Plans diagrams. These figures, shown in **Appendix D** of this report, show that outcomes in the current Structure Plan can be achieved alongside the updated 3Ms development (which does not include having the main north/south infrastructure on its site). Importantly, the wastewater and water supply infrastructure developed on the 3Ms site will still serve a larger area than just the 3Ms site (in other words, from a water and wastewater perspective the updated 3Ms development is not standalone). In respect of stormwater and roading, while the site can be “standalone” 3Ms is providing the optionality for its infrastructure to connect to the public infrastructure when built.

In summary, 3Ms has undertaken significant technical work to understand what the effects of not having the key public assets on its land are and it is of the view that all of the outcomes of the Structure Plan can be achieved with the refined 3Ms layout. In that regard, it is considered that the development presented in this AEE is in general accordance with the

Structure Plan. There has been significant effort undertaken by 3Ms to ensure that the proposal enhances development in the wider Structure Plan area.

### 1.3 PURPOSE OF THIS REPORT

3Ms is applying for the for the following consents under the Resource Management Act 1991 (“RMA”):

- › **Subdivision consent** to enable the creation of 242 residential lots within the C2 Growth Cell in Cambridge and associated lots for public assets.

Resource consent for Non-Complying Activity is required from Waipa District Council in accordance with the following rules of the Operative Waipa District Plan:

- › Rule 15.4.1.1(w) – Subdivision in a Deferred Zone – Non-Complying Activity;
- › Rule 15.4.2.1 (ac) – Residential Subdivision in the C1 and C2/C3 structure plan areas – Non-Complying Activity;
- › Rule 15.4.2.1 (ad) - Comprehensive Residential Subdivision in the C1 and C2/C3 structure plan areas, in accordance with Rule 15.4.1.1 (e) and Rule 15.4.2.62 - Non-Complying Activity;
- › Rule 15.4.2.3 - Lot frontage, lot shape factor and vehicle crossings (all other zones) – Discretionary Activity;
- › Rule 15.4.2.5 – Lot Design – Discretionary Activity;
- › Rule 15.4.2.7 – Lot Design – Discretionary Activity;
- › Rule 15.4.2.13 – Site Suitability: General – Non-Complying Activity;
- › Rule 15.4.2.65 – Roads – Discretionary Activity;
- › Rule 16.4.2.2 – Road Hierarchy - Discretionary Activity; and
- › Rule 16.4.2.5 - Vehicle entrance separation from intersections and other vehicle entrances – Discretionary Activity.

This application is not seeking a land use consent for the development that will occur subsequent to the subdivision. While the development would breach a number of Deferred Zone / Rural Zone land use rules, land use consent is not being sought at this present time. It is anticipated that at the time that dwellings will be constructed, Plan Change 13 will have rezoned the C1 and C2/C3 Growth Cells from Deferred Residential Zone to Residential Zone. In that regard, most the residential activities that will occur will be Permitted Activities, but land use consent may be required at a later date for some aspects of the proposed development (e.g. compact housing).

## 1.4 STRUCTURE OF THIS REPORT

- Section 1:** This introduction provides background to the proposal, an introduction to 3Ms, a summary of the required consents, and the structure of this AEE.
- Section 2:** Describes the environmental setting, including general site characteristics and physical setting.
- Section 3:** Provides a detailed description of the project.
- Section 4:** Sets out the statutory planning requirements and resource consents required from the Waipa District Council.
- Section 5:** Provides an assessment of environmental effects associated with the proposal.
- Section 6:** Sets out the statutory framework against which the resource consent applications have been made and considers the proposal in relation to the provisions of the RMA and the relevant statutory planning documents prepared by the Waipa District Council, Waikato Regional Council and tangata whenua.
- Section 7:** Provides an overview of the consultation undertaken in respect of the proposal.
- Section 8:** Discusses the requested limited notification of this application.
- Section 9:** Is a concluding statement.

## 2. THE EXISTING ENVIRONMENT

### 2.1 SITE LOCATION AND KEY FEATURES

The application site is a property located on the northern side of Cambridge Road, west of Kelly Road and the Cambridge Town Centre.

Neighbouring properties along Cambridge Road comprise a combination of rural, commercial and residential and rural residential lifestyle properties.

Existing land use activities and development in the immediate surrounding area include:

- › Overdale Riding Centre to the west;
- › Cambridge Grains to the north east;
- › Cambridge Raceway to the north west; and
- › Existing residential development (along either side of Kelly Road) to the east.

The site is shown in Figure 2.



**Figure 2. Aerial Photo of the Site**

The application site is relatively flat (Figure 3), and as a result, no part of it is considered to be a high-risk erosion area. The site is also largely vacant with the exception of a small number of existing buildings located towards the south of the site. There is one dwelling on site, which is currently being used as the 3Ms project office.

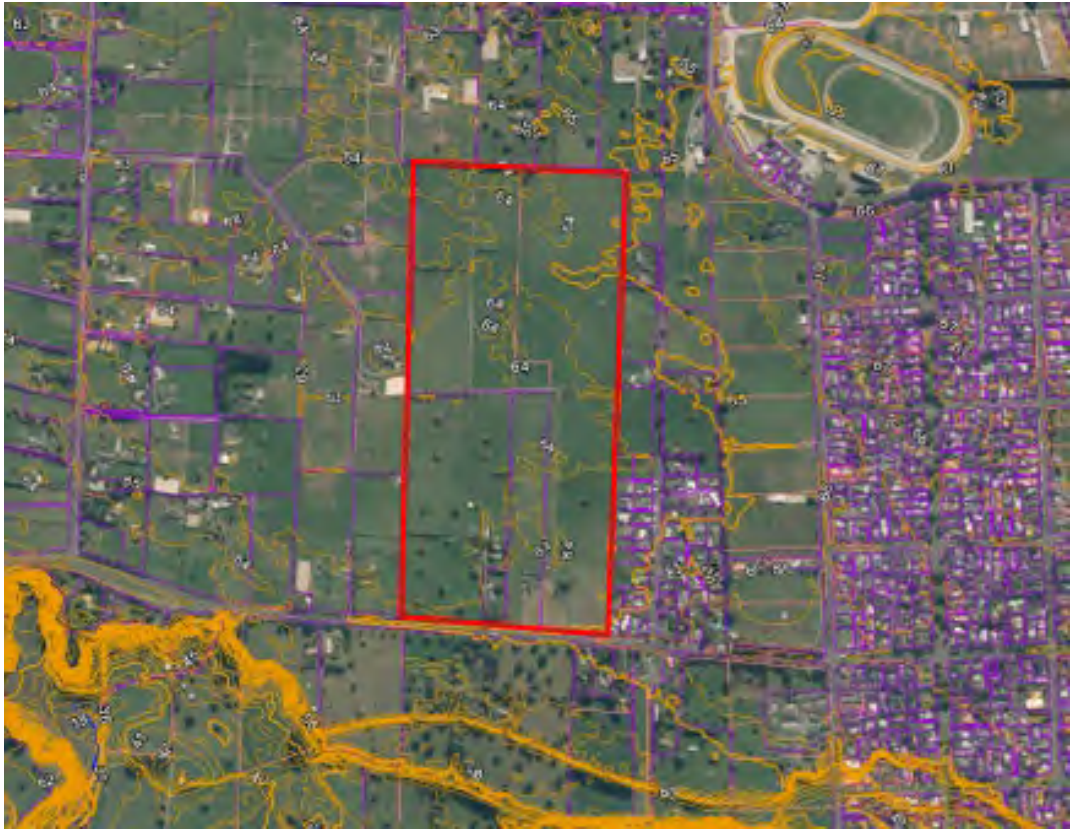


Figure 3. Contour Map (Source: WRC Contour Map - LiDAR Contours 1m)

## 2.2 ZONING

The application site is zoned Deferred Residential under the operative Waipa District Plan. The Zones Maps also identify the Cambridge C2 Structure Plan Area as applicable to the subject property and the immediate surrounding area.

Excerpts from the relevant planning maps are provided in the following figure.

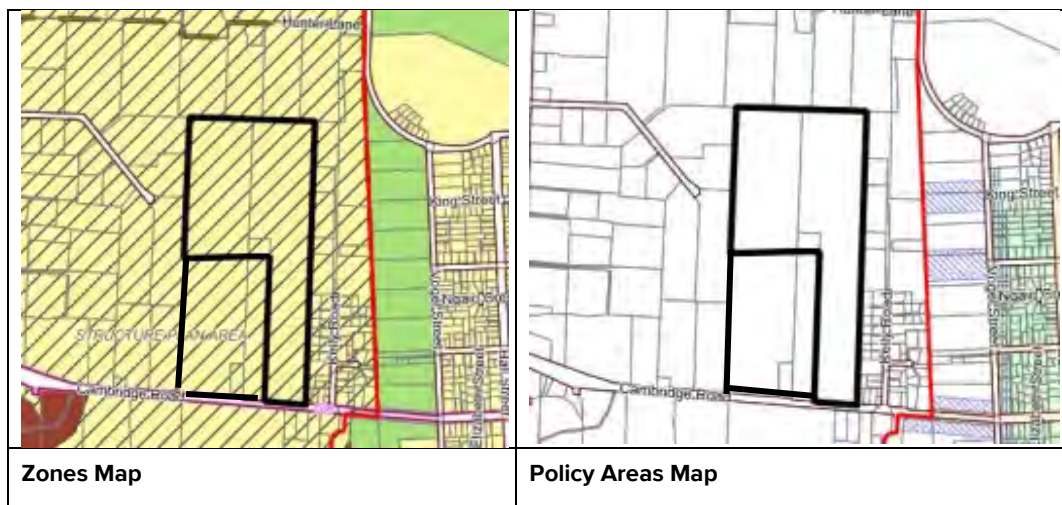


Figure 4. Excerpts from Waipa District Council Planning Maps with Subject Site Marked.

## 2.3 VEGETATION

The proposed application site is covered in pasture. As shown in Figure 5, the site does not contain any indigenous vegetation identified by the Waikato Regional Council.

Furthermore, there are no identified “Significant Natural Areas” within or in the vicinity of the site.

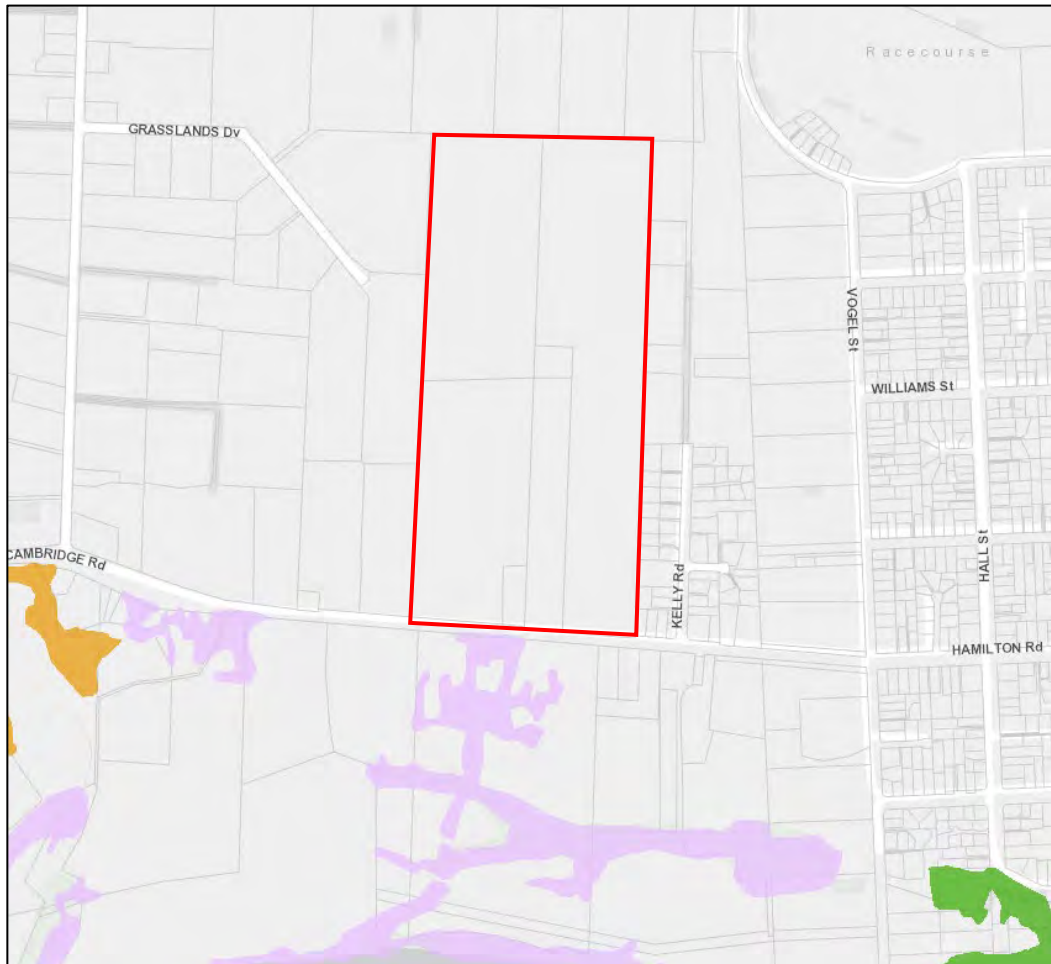


Figure 5. Vegetation Map (Source: Waikato Regional Council Vegetation Maps)

## 2.4 HAZARDS

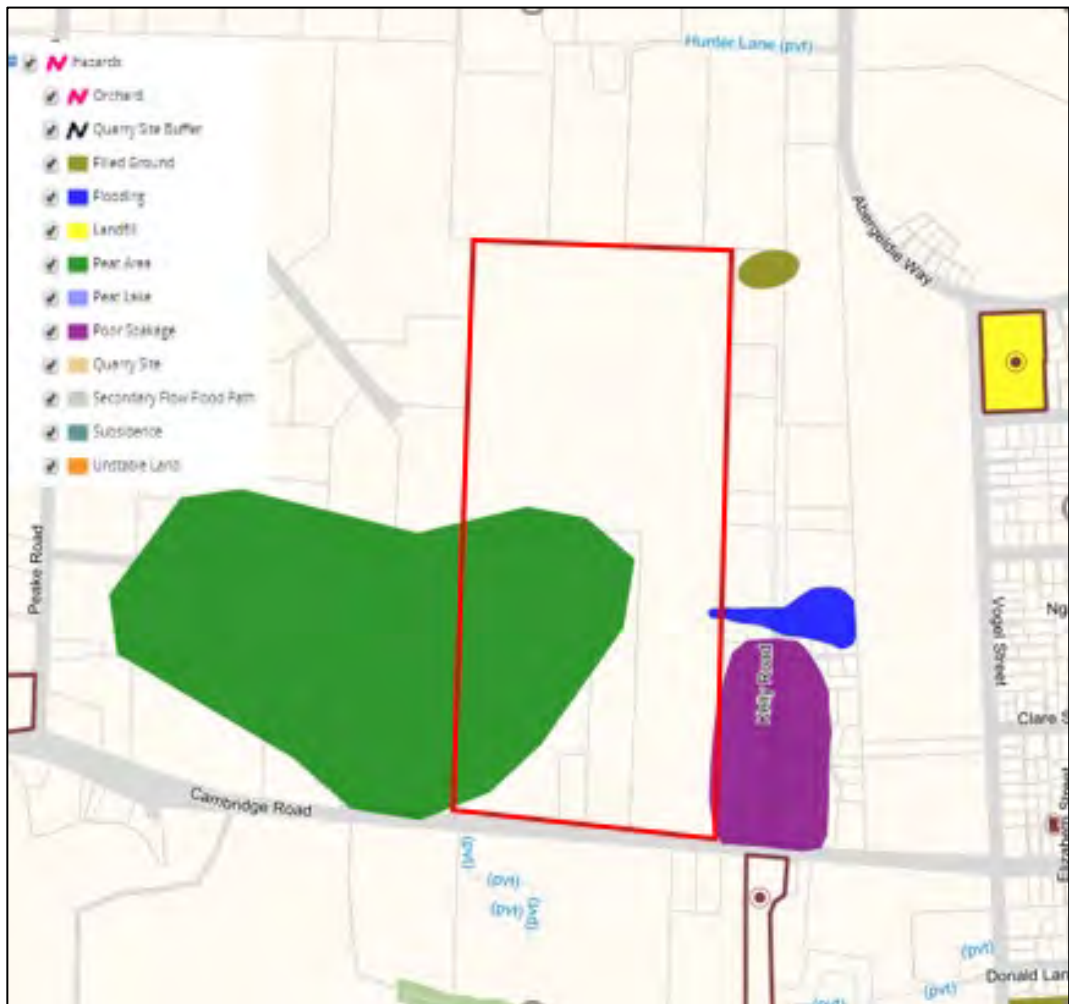
The site is not subject to any hazard areas (for example, river flooding, Karapiro Dam Break), as identified by the Waikato Regional Council.

As shown in Figure 6, the Waipa District Council identifies the following potential hazards as applicable to the application site, or land immediately surrounding it:

- **Peat Area** – is identified over the south-western corner of the application site;
- **Poor Soakage** – is identified over the existing residential development immediately to the east of the site (in Kelly Road);



- › **Flood Hazard** is identified over an extremely small portion of land within the application site; and
- › **Filled Ground** is located immediately to the north-east of the application site (but outside of the proposed subdivision).



**Figure 6. Hazards Map (Source: This map is from the “Environment - Special Features” maps on Waipa Intramaps, therefore, is not a Waipa District Plan Planning Map for rule assessment purposes).**

Any relevant aspects relating to the peat area present on site was considered as part of earthwork activities and overall design. Other hazards areas identified are not applicable to the application due to their minimal overlap with the site.

## 2.5 SITE ACCESS

The development site has a single road frontage on Cambridge as the primary point of access to the south. The site is surrounded by neighbouring rural properties to the north and west and adjoin the existing Kelly Road residential development to the east.

## 2.6 DRAINAGE

Drainage for the site is provided through existing farm drains which discharge into the Waikato River via an existing culvert under Cambridge Road to the west of the site and stream to the south.

The 3Ms site is located within two existing catchments of approximately equal size which encompass a portion of the current Cambridge township and the growth cell areas of the future C1 extension.

The points of discharge for the existing Pukeroro Catchment is at Peake Road and through a culvert under the expressway to the north. The Waikato River Catchment (as per the Stormwater Management Plan for the area) is made up of several smaller sub-catchments that discharge to the river through several small tributaries. The largest of these, the main outfall for areas north of Cambridge Road, runs out to via the gully east of the Velodrome.

## 2.7 LAND USE INFORMATION REGISTER

The site is not identified by the Waipa District Council as being on the Land Use Information Register and is not a potential HAIL site.

## 2.8 CULTURAL AND HERITAGE VALUES

There are no recorded cultural or heritage sites of significance within the site.

The Waipa District Council and 3Ms have collaboratively engaged with Tangata Whenua regarding the development of the C1 and C2/C3 Growth Cells. This is culminated in the completion of a Tangata Whenua Statement and Engagement Report (prepare by Te Huia Natural Resources). This report is attached as **Appendix E** to this AEE.

Te Huia Ltd developed the Tangata Whenua Statement and Engagement Report to accompany resource consent applications to the Waikato Regional Council and Waipa District Council. The report does not cover a wide scope of matters that decision-making authorities would expect in a Cultural Values Assessment (“**CVA**”). A CVA has already been completed for the entire C1 & C2/C3 growth cell area so the report prepared by Te Huia Natural Resources focusses on specific consents and activities related to subsequent stages of development for C1 & C2/C3.

The CVA which was commissioned by the Waipa District Council sets out iwi values and positions in respect of the C1 and C2/C3 Growth Cells. The information in this section, in relation to mana whenua, is presented verbatim from the CVA and is presented in this AEE to provide recognition of the association hapu have with this area.

Mana whenua is described as the political and occupational authority over a particular area (Tau et al., 1990). Continuing mana whenua status is determined by whakapapa (genealogical

ties) and secured by ahi kaa (continued occupation and resource use). Ngāti Korokī-Kahukura and Ngāti Hauā continue to practice ahi kaa and therefore have customary authority of the project area supporting the Cambridge and Hautapu.

Ngāti Korokī-Kahukura and Ngāti Hauā hold a spiritual relationship with these lands and resources, stemming from the loving union of the earthmother, Papatuaanuku, with the sky-father, Ranginui. Their embrace lead to a series of evolutionary processes which established a multitude of Atua (Gods) within the heavenly realm and terrestrial space, alongside children or creatures.

Ngāti Korokī-Kahukura and Ngāti Hauā have, and continue to accept the responsibilities of their natural ancestry which make them kaitiaki (guardians) of these deities to balance the relationship among the human realm, spiritual realm and the natural space of animals, vegetables, plants, insects, fish, birds, reptiles and minerals. Ngāti Korokī-Kahukura and Ngāti Hauā are tangata whenua of the project area and hold mana (rights, authority and control). They continue to occupy and acknowledge their affiliation and interests to the Cambridge and Hautapu area.

Ngāti Korokī-Kahukura and Ngāti Hauā are also established Iwi authorities, who are representative of their hapū and whānau in matters related to local and central Government, fisheries, aquaculture, farming, education, environmental, social and other affairs.

Each of the iwi have a responsibility to protect the natural resources, mahinga kai, and other values of the rohe for the benefit and use of those tribal members of Ngāti Korokī-Kahukura and Ngāti Hauā descent.

#### **Ngāti Korokī-Kahukura te Iwi**

Ngāti Korokī descends from the high chief Korokī, a descendant, 16 generations removed from Hoturoa, captain of the Tainui canoe. Ngāti Kahukura descends from the high chieftainess Kahukura, also a descendant 16 generations removed from Hoturoa. Joined together through common ancestry and lineage their descendants are Ngāti Korokī-Kahukura (Ngāti Korokī-Kahukura, 2017).

The ancestral tribal rohe of Ngāti Korokī-Kahukura spans from Southern Hamilton City, following the Waikato River to the northern end of Lake Arapuni, inland to western Te Awamutu and through again to southern Hamilton City encompassing Mount Maungatautari and many kaainga settlements. Korokī along with his allies conquered the Ngāti Kauwhata and Raukawa under Taowhakaio taking control of the Maungatautari region and the stretch of the Waikato River from Arapuni northward to Te Parapara.

Ngāti Korokī-Kahukura has several hapū: Ngāti Waihoru, Ngāti Ueroa, Ngāti Huakatoa, Ngāti Houruamua, Ngāti Werewere and Ngāti Poorangi. All of these hapū lived around the base of Maungatautari and alongside various areas around the Waikato River.

#### **Ngāti Hauā te Iwi**

Hauā is the eponymous ancestor of Ngāti Hauā. His father Korokī married Tumataura and had two sons, Hape through whom Ngāti Korokī descend; and Hauā from whom Ngāti Hauā descends. Hauā (Ngāti Hauā), is the second son of Korokī and Tumataura. Hauā was a skilled

warrior and leader. Hape and Hauā with the assistance of the nephew, Waenganui, laid claim to vast tracks of land in Morrinsville, Matamata and Hinuera areas. Their tribal estate borders the Hauraki tribes to the east, Raukawa to the south and across to Rukuhia in the west. Ngāti Hauā encompassed the lands and waters within the east and north of Maungatautari, in particular Tamahere, Tauwhare, parts of Hamilton City, Morrinsville up to Te Aroha across the kaimai ranges into Matamata and Hinuera.

## 2.9 TITLE INFORMATION

### 2.9.1 Records of Title

The application site comprises of four existing Records of Title as follows:

**Table 1. Title Information**

Address	Legal Description	Area	Owners
1881 Cambridge Road	Lot 2 DP 29023, Lot 1 DPS 75243 and Lot 1 DPS 31006 comprised in Record of Title SA56C/447	26.9866ha	3MS of Cambridge GP Limited
1871 Cambridge Road	Pt Lot 1 DP 29023 comprised in Record of Title SA31C/268	3.593ha	
1863 Cambridge Road	Lot 1 DPS 85575 comprised in Record of Title SA68A/9	0.510ha	
1865 Cambridge Road	Lot 2 DPS 85575 comprised in Record of Title SA68A/10.	9.752ha	
<b>Total Area</b>		<b>40.8416ha</b>	

Note that 3Ms has obtained a subdivision consent SP/0136/20 which creates additional titles. However, this has not, and will not be, progressed to the s233/s224 stage.

Copies of the Records of Title are included in **Appendix B**.

### 2.9.2 Legal Interests

There are a number of legal interests / encumbrances are registered on the existing Records of Title, and these are assessed in the application for subdivision consent SP/0136/20 (with a number of those seeking to be cancelled). As that subdivision consent is not being progressed by 3Ms, the easements will need to be cancelled by way of this application.

The following legal interests / encumbrances are registered on the existing Records of Title. Copies of the easement documents can be provided to the council upon request.



**Table 2. Legal Interests**

Address	Legal Description	Legal Interest / Encumbrances
1881 Cambridge Road	Lot 2 DP 29023, Lot 1 DPS 75243 and Lot 1 DPS 31006 comprised in Record of Title SA56C/447	<p><u>Subject to Section 241 Resource Management Act 1991</u></p> <p><b>Comment:</b> this amalgamation condition will need to be cancelled, please provide a s241 (3) certificate.</p> <p><u>S316513 Gazette Notice declaring State Highway No. 1 (Awanui-Bluff) fronting the within land to be a limited access road - 21.6.1965 at 9.00 am</u></p> <p><b>Comment:</b> this will need to be cancelled, awaiting comments from NZTA.</p> <p><u>Subject to a right of way over part marked D on DPS 31006 specified in Easement Certificate H525373.5 - 18.5.1984 at 2.31 pm (affects Lot 1 DPS 31006)</u></p> <p><u>The easements specified in Easement Certificate H525373.5 are subject to Section 309 (1) (a) Local Government Act 1974</u></p> <p><b>Comment:</b> this easement will become redundant and need to be cancelled. Please provide a certificate pursuant to section 243 (e) of the RMA.</p> <p>Titles affected:</p> <p>RT SA56C/447 Owner 3ms of Cambridge (subject parcel).</p> <p>RT SA31C/268 Owner: 3ms of Cambridge (subject parcel).</p> <p><u>Subject to a right of way over part marked C on DPS 31006 specified in Easement Certificate H525373.6 - 18.5.1984 at 2.31 pm (affects Lot 1 DPS 75243)</u></p> <p><u>The easements specified in Easement Certificate H525373.6 are subject to Section 309 (1) (a) Local Government Act 1974.</u></p> <p><b>Comment:</b> this easement will become redundant and need to be cancelled. Please provide a certificate pursuant to section 243 (e) of the RMA.</p> <p>Titles affected:</p> <p>RT SA56C/447 Owner 3ms of Cambridge (subject parcel).</p>

Address	Legal Description	Legal Interest / Encumbrances
		<p>RT SA31C/268 Owner: 3ms of Cambridge (subject parcel).</p> <p><i><u>Appurtenant hereto are rights of way and telecommunications and power rights specified in Easement Certificate B282670.8 - 7.7.1995 at 10.48 am</u></i></p> <p><i><u>Some of the easements specified in Easement Certificate B282670.8 are subject to Section 243 (a) Resource Management Act 1991 (See DPS 70407)</u></i></p> <p><b>Comment:</b> this easement is now redundant, and the 3Ms seeks that this be cancelled. Previously, this was utilised as an access to Racecourse Road to provide access to the Cambridge Jockey Clubs training facilities. Please provide a certificate pursuant to section 243 (e) of the RMA.</p> <p>Titles affected:</p> <p>RT SA31C/268 Owner 3ms of Cambridge (subject parcel).</p> <p>RT SA68A/9 Owner 3ms of Cambridge (subject parcel).</p> <p>RT SA56C/447 Owner 3ms of Cambridge (subject parcel).</p> <p>RT SA68A/10 Owner 3ms of Cambridge (subject parcel).</p> <p>RT SA56C/446 Owner Gary Ian Alton (#59 Racecourse Road).</p> <p>RT SA56C/443 Owner Irene Jane Patricia Stewart, Peter Frederick Stewart (#57 Racecourse Road).</p> <p><i><u>Subject to a right of way over part marked D on DPS 70407 created by Transfer B282670.9 - 7.7.1995 at 10.48 am (affects part Lot 1 DPS 75243)</u></i></p> <p><i><u>The easements created by Transfer B282670.9 are subject to Section 243 (a) Resource Management Act 1991 (affects CTs SA37B/665 and SA37B/666)</u></i></p> <p><b>Comment:</b> this easement will become redundant and need to be cancelled. Please provide a certificate pursuant to section 243 (e) of the RMA.</p> <p>RT SA31C/268 Owner 3ms of Cambridge (subject parcel).</p> <p>RT SA68A/9 Owner 3ms of Cambridge (subject parcel).</p>

Address	Legal Description	Legal Interest / Encumbrances
		RT SA56C/447 Owner 3ms of Cambridge (subject parcel). RT SA68A/10 Owner 3ms of Cambridge (subject parcel).
1871 Cambridge Road	Pt Lot 1 DP 29023 comprised in Record of Title SA31C/268	<p><u>S316513 Gazette Notice declaring State Highway No. 1 (Awanui-Bluff) fronting the within land to be a limited access road - 21.6.1965 at 9.00 am</u></p> <p><b>Comment:</b> this will need to be cancelled, awaiting comments from NZTA.</p> <p><u>Appurtenant hereto is a right of way specified in Easement Certificate H525373.5 - 18.5.1984 at 2.31 pm</u></p> <p><u>The easements specified in Easement Certificate H525373.5 are subject to Section 309 (1) (a) Local Government Act 1974</u></p> <p><b>Comment:</b> this easement will become redundant and need to be cancelled. Please provide a certificate pursuant to section 243 (e) of the RMA.</p> <p>Titles affected: RT SA56C/447 Owner 3ms of Cambridge (subject parcel). RT SA31C/268 Owner: 3ms of Cambridge (subject parcel).</p> <p><u>Appurtenant hereto is a right of way specified in Easement Certificate H525373.6 - 18.5.1984 at 2.31 pm</u></p> <p><u>The easements specified in Easement Certificate H525373.6 are subject to Section 309 (1) (a) Local Government Act 1974</u></p> <p><b>Comment:</b> this easement will become redundant and need to be cancelled. Please provide a certificate pursuant to section 243 (e) of the RMA.</p> <p>Titles affected: RT SA56C/447 Owner 3ms of Cambridge (subject parcel). RT SA31C/268 Owner: 3ms of Cambridge (subject parcel).</p> <p><u>B282670.3 Resolution pursuant to Section 243(f) Resource Management Act 1991 cancelling the right of way easement condition on DPS 31006 - 7.7.1995 at 10.48 am</u></p>



Address	Legal Description	Legal Interest / Encumbrances
		<p><b>Comment:</b> this is an annotation confirming partial cancelation of easements no action required.</p> <p><i>Appurtenant hereto is a right of way and telecommunications and power rights specified in Easement Certificate B282670.8 - 7.7.1995 at 10.48 am</i></p> <p><i>The easements specified in Easement Certificate B282670.8 are subject to Section 243 (a) Resource Management Act 1991</i></p> <p><b>Comment:</b> this easement is now redundant, and 3Ms seeks that this be cancelled. Previously this was utilised as an access to Racecourse Road to provide access to the Cambridge Jockey Clubs training facilities. Please provide a certificate pursuant to section 243 (e) of the RMA.</p> <p>Titles affected:</p> <p>RT SA31C/268 Owner 3ms of Cambridge (subject parcel).</p> <p>RT SA68A/9 Owner 3ms of Cambridge (subject parcel).</p> <p>RT SA56C/447 Owner 3ms of Cambridge (subject parcel).</p> <p>RT SA68A/10 Owner 3ms of Cambridge (subject parcel).</p> <p>RT SA56C/446 Owner Gary Ian Alton (#59 Racecourse Road).</p> <p>RT SA56C/443 Owner Irene Jane Patricia Stewart, Peter Frederick Stewart (#57 Racecourse Road).</p>
1863 Cambridge Road	Lot 1 DPS 85575 comprised in Record of Title SA68A/9	<p><i>S316513 Gazette Notice declaring No 1 State Highway to be a limited access road - 21.6.1965 at 9.00 am</i></p> <p><b>Comment:</b> this will need to be cancelled, awaiting comments from NZTA.</p> <p><i>Appurtenant hereto is a right of way and power and telecommunications rights specified in Easement Certificate B282670.8 - 7.7.1995 at 10.48 am</i></p> <p><i>Some of the easements specified in Easement Certificate B282670.8 are subject to Section 243 (a) Resource Management Act 1991</i></p> <p><b>Comment:</b> this easement is now redundant, and 3Ms seeks that this be cancelled. Previously this was utilised as an access to Racecourse Road to provide access to the Cambridge Jockey Clubs training facilities. Please provide a certificate pursuant to section 243 (e) of the RMA.</p>



Address	Legal Description	Legal Interest / Encumbrances
		<p>Titles affected:</p> <p>RT SA31C/268 Owner 3ms of Cambridge (subject parcel).</p> <p>RT SA68A/9 Owner 3ms of Cambridge (subject parcel).</p> <p>RT SA56C/447 Owner 3ms of Cambridge (subject parcel).</p> <p>RT SA68A/10 Owner 3ms of Cambridge (subject parcel).</p> <p>RT SA56C/446 Owner Gary Ian Alton (#59 Racecourse Road).</p> <p>RT SA56C/443 Owner Irene Jane Patricia Stewart, Peter Frederick Stewart (#57 Racecourse Road).</p> <p><i>Appurtenant hereto is a right of way created by Transfer B282670.9 - 7.7.1995 at 10.48 am</i></p> <p><i>The easements created by Transfer B282670.9 are subject to Section 243 (a) Resource Management Act 1991</i></p> <p><b>Comment:</b> this easement will become redundant and need to be cancelled. Please provide a certificate pursuant to section 243 (e) of the RMA.</p> <p>Titles affected.</p> <p>RT SA31C/268 Owner 3ms of Cambridge (subject parcel).</p> <p>RT SA68A/9 Owner 3ms of Cambridge (subject parcel).</p> <p>RT SA56C/447 Owner 3ms of Cambridge (subject parcel).</p> <p>RT SA68A/10 Owner 3ms of Cambridge (subject parcel).</p> <p><i>Appurtenant hereto is a right of way and a right to transmit electricity specified in Easement Certificate B578304.8 - produced 16.11.1999 at 10.54 am and entered 18.11.1999 at 9.00 am.</i></p> <p><i>Some of the easements specified in Easement Certificate B578304.8 are subject to Section 243 (a) Resource Management Act 1991 (See DPS 85575).</i></p> <p><b>Comment:</b> this easement will become redundant and need to be cancelled. Please provide a certificate pursuant to section 243 (e) of the RMA.</p>



Address	Legal Description	Legal Interest / Encumbrances
		<p>Titles affected:</p> <p>RT SA68A/9 Owner 3ms of Cambridge (subject parcel).</p> <p>RT SA68A/10 Owner: 3ms of Cambridge (subject parcel).</p> <p><i>B644416.1 Notice pursuant to Section 91 Transit New Zealand Act 1989 - 1.2.2001 at 2.26 pm</i></p> <p><b>Comment:</b> this will need to be cancelled, awaiting comments from NZTA.</p>
1865 Cambridge Road	Lot 2 DPS 85575 comprised in Record of Title SA68A/10.	<p><i>S316513 Gazette Notice declaring No 1 State Highway to be a limited access road - 21.6.1965 at 9.00 am</i></p> <p><b>Comment:</b> this will need to be cancelled, awaiting comments from NZTA.</p> <p><i>Appurtenant hereto are rights of way, and telecommunications and power rights specified in Easement Certificate B282670.8 - 7.7.1995 at 10.48 am</i></p> <p><i>Some of the easements specified in Easement Certificate B282670.8 are subject to Section 243 (a) Resource Management Act 1991</i></p> <p><b>Comment:</b> this easement is now redundant, and 3Ms seeks that this be cancelled. Previously this was utilised as an access to Racecourse Road to provide access to the Cambridge Jockey Clubs training facilities. Please provide a certificate pursuant to section 243 (e) of the RMA.</p> <p>Titles affected:</p> <p>RT SA31C/268 Owner 3ms of Cambridge (subject parcel).</p> <p>RT SA68A/9 Owner 3ms of Cambridge (subject parcel).</p> <p>RT SA56C/447 Owner 3ms of Cambridge (subject parcel).</p> <p>RT SA68A/10 Owner 3ms of Cambridge (subject parcel).</p> <p>RT SA56C/446 Owner Gary Ian Alton (#59 Racecourse Road).</p> <p>RT SA56C/443 Owner Irene Jane Patricia Stewart, Peter Frederick Stewart (#57 Racecourse Road).</p>

Address	Legal Description	Legal Interest / Encumbrances
		<p><i>Appurtenant hereto is a right of way created by Transfer B282670.9 - 7.7.1995 at 10.48 am</i></p> <p><i>The easements created by Transfer B282670.9 are subject to Section 243 (a) Resource Management Act 1991</i></p> <p><b>Comment:</b> this easement will become redundant and need to be cancelled. Please provide a certificate pursuant to section 243 (e) of the RMA.</p> <p>RT SA31C/268 Owner 3ms of Cambridge (subject parcel).</p> <p>RT SA68A/9 Owner 3ms of Cambridge (subject parcel).</p> <p>RT SA56C/447 Owner 3ms of Cambridge (subject parcel).</p> <p>RT SA68A/10 Owner 3ms of Cambridge (subject parcel).</p>
		<p><i>Subject to a right of way over parts marked A, B and C and a right to transmit electricity over parts marked B and D on DPS 85575 specified in Easement Certificate B578304.8 - produced 16.11.1999 at 10.54 and entered 18.11.1999 at 9.00 am</i></p> <p><i>Some of the easements specified in Easement Certificate B578304.8 are subject to Section 243 (a) Resource Management Act 1991</i></p> <p><b>Comment:</b> this easement will become redundant and need to be cancelled. Please provide a certificate pursuant to section 243 (e) of the RMA.</p> <p>Titles affected:</p> <p>RT SA68A/9 Owner 3ms of Cambridge (subject parcel).</p> <p>RT SA68A/10 Owner: 3ms of Cambridge (subject parcel).</p>
		<p><i>B644416.2 Certificate pursuant to Section 91 Transit New Zealand Act 1989 and from a Limited Access Road - 1.2.2001 at 2.26 pm</i></p> <p><b>Comment:</b> this will need to be cancelled, awaiting comments from NZTA.</p>



### 2.9.3 Cancellation of Easements Summary

- › **Easement certificate H525373.5** shall be cancelled in its entirety at the consent holders expense. This condition shall be satisfied with the signing of a Section 243 Certificate.
- › **Easement certificate H525373.6** shall be cancelled in its entirety at the consent holders expense. This condition shall be satisfied with the signing of a Section 243 Certificate.
- › **Easement certificate B282670.9** shall be cancelled in its entirety at the consent holders expense. This condition shall be satisfied with the signing of a Section 243 Certificate.
- › **Easement certificate B578304.8** shall be cancelled in its entirety at the consent holders expense. This condition shall be satisfied with the signing of a Section 243 Certificate.
- › **Easement Certificate B282670.8** shall be cancelled in so far as it relates to Lots 1 -11 at the consent holders' expense. This condition shall be satisfied with the signing of a Section 243 Certificate.

### 2.9.4 Subdivision Consent

As previously noted, SP/0136/20 was granted on 29 May 2020 enabling the subdivision of the 3Ms site to create public assets (roading, reserves and the school site).

In summary, the proposal was for a five-lot subdivision. While this consent has been approved, it is now longer being progressed by 3Ms.

### 2.10 EXISTING RESOURCE CONSENTS

In addition to subdivision consent SP/0136/20 discussed in the previous section, 3Ms has obtained a land use consent from the Waipa District Council to enable the earthworks associated with the full development of the site (LU/0166/20). Land use consent LU/0166/20 is for the “earthworks associated with the development of the 3M’s residential subdivision, including the future public assets and the school site”. Subject to the approval of the Construction Management Plan, 3Ms intends to commence the earthworks on 14 December 2020.

3Ms is also in the process of preparing resource consent applications for consents from the Waikato Regional Council to undertake construction related activities.

### **3. DESCRIPTION OF THE PROPOSAL**

#### **3.1 VISION**

The vision for the development is as follows:

3MS's vision is simple; we want to create a sense of community. We want to be the first subdivision in Cambridge that creates an opportunity through diversity of housing typologies where people can invest with the long term goal of re-investing within the same estate into a housing typology that matches their needs at that time. We have termed this inspiration "living opportunity". Today could simply be a 3-bedroom townhouse; tomorrow could be a 3 bedroom duplex and as the family grows a standalone home on a bigger section. The diversity of housing will also cater for all regardless of their stage of life; making the development entirely inclusive. The housing needs have evolved and there are more future homeowners requiring quality combined with a "lock and leave" mentality.

3MS also plans to use CCTV networks to monitor public spaces and main road junctions to provide our residents additional security and surveillance.

Our public spaces will be designed to encourage activity and a sense of community with a significant emphasis on walking and cycling.

3MS will be the first to master plan the entire estate ensuring our goals are fulfilled; these include:

- › An estate that looks to maximise each homes' northerly living opportunities.
- › An estate that will manage separation between living spaces to ensure privacy.
- › An estate that engages with the street frontages.
- › An estate that provides sufficient garage setbacks to ensure that guest parking does not encroach on the estate's footpaths and cycle ways.
- › An estate that provides for avenues of trees framing each street.

#### **3.2 OVERARCHING 3MS DEVELOPMENT**

The 3Ms site as a whole is regular in shape and reflects the cadastral boundaries of the land. At a wider scale, the Structure Plan generally follows the gridded arrangement of the land, which is also a characteristic of the urban form of Cambridge to the east.

A feature of the C2 Growth Cell Structure Plan is the provision of a significant north / south reserve space, with branches to west and east, that serves as the key stormwater network (with the growth cells stormwater eventually discharging into the Waikato River). The proposed 3Ms scheme accommodates part of this reserve space in its central section, running east to west.

As anticipated in the structure plan, the scheme plan also provides for a Collector Road running west / east in the northern part of the site. Based on these primary features, the rest of the site has been composed as follows:

- › The southern half of the site adjoining Cambridge Road is proposed for residential uses, with a relatively fine-grained grid of street blocks.
- › A band of residential uses runs along the eastern boundary, relating to existing and potential future residential development to the east.
- › A super lot site has been proposed between these features and adjoining Cambridge Road to the south (a future retirement village) which will be the subject of a separate Land Use Consent application at a later date).
- › An active recreation reserve is located in the middle of the site, with the expectation that this will include a playground that will be constructed by 3Ms.
- › A Local Neighbourhood Centre is positioned by the active reserve recreation space in the middle of the 3Ms site.
- › A site for a school has been located toward the north of the central stormwater reserve.
- › A multifunctional reserve area that will comprise stormwater management features and active reserve features (such as fitness trails).

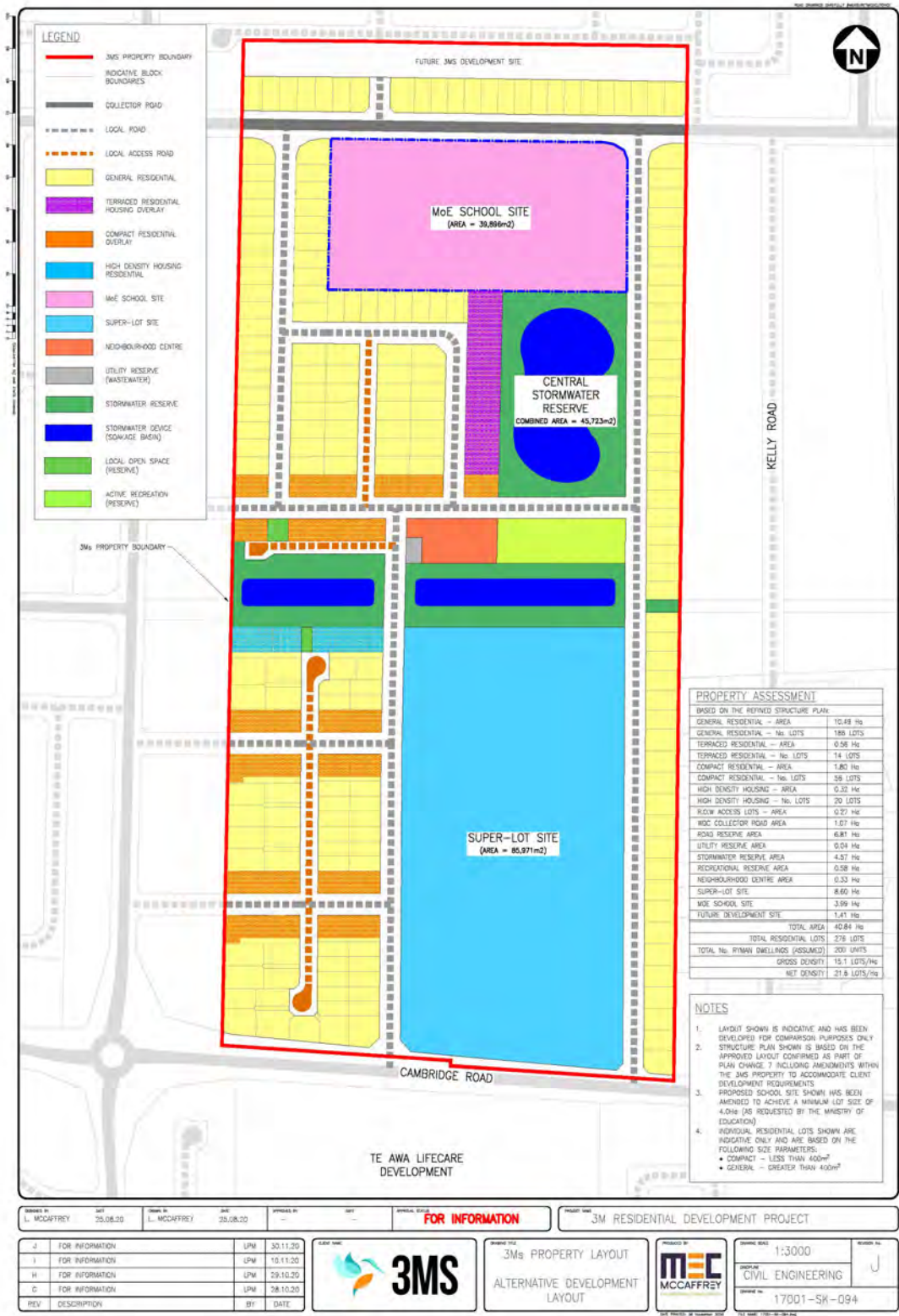


Figure 7. 3Ms Proposed Layout

### 3.3 PROPOSED SUBDIVISION

The applicant is applying for resource consent approval to subdivide their existing property (an area of approximately 40 hectares) to create 242 residential lot (and lots to be vested in Waipa District Council) for the Cambridge C2 Structure Plan area. Table 3 below provides a summary of the proposed new lots, including their intended use and respective areas.

A copy of the Scheme Plan for the proposed subdivision is included as **Appendix F**, and shown in Figure 8 to Figure 14 of this report.

**Table 3. The Proposed Lots**

Proposed Lot Number	Area	Stage	Purpose
1 - 46	562 m <sup>2</sup> – 787 m <sup>2</sup>	Stage 1	<b>General Residential</b>
47 - 54	490 m <sup>2</sup> – 494 m <sup>2</sup>	Stage 1	<b>General Residential</b>
54 - 60	336 m <sup>2</sup> – 354 m <sup>2</sup>	Stage 1	<b>Residential</b> – Compact Housing.
61 - 81	561 m <sup>2</sup> – 642 m <sup>2</sup>	Stage 1	<b>General Residential</b>
82 - 87	326 m <sup>2</sup> – 336 m <sup>2</sup>	Stage 1	<b>Residential</b> – Compact Housing.
88 - 93	409 m <sup>2</sup> – 495 m <sup>2</sup>	Stage 1	<b>General Residential</b>
94 - 101	315 m <sup>2</sup> – 321 m <sup>2</sup>	Stage 1	<b>Residential</b> – Compact Housing.
102 - 113	420 m <sup>2</sup> each	Stage 1	<b>General Residential</b>
114 - 121	315 m <sup>2</sup> each	Stage 1	<b>Residential</b> – Compact Housing
122 - 134	411 m <sup>2</sup> - 822 m <sup>2</sup>	Stage 1	<b>General Residential</b>
135 - 142	516 m <sup>2</sup> – 843 m <sup>2</sup>	Stage 2	<b>General Residential</b>
143 - 152	300 m <sup>2</sup> – 396 m <sup>2</sup>	Stage 2	<b>Residential</b> – Compact Housing.
153 - 160	634 m <sup>2</sup> – 754 m <sup>2</sup>	Stage 2	<b>General Residential</b>
161 - 170	284 m <sup>2</sup> – 402 m <sup>2</sup>	Stage 2	<b>Residential</b> – Compact Housing.
171 - 174	732 m <sup>2</sup> – 809 m <sup>2</sup>	Stage 2	<b>General Residential</b>
175 – 180	326 m <sup>2</sup> – 354 m <sup>2</sup>	Stage 2	<b>Residential</b> – Compact Housing.



Proposed Lot Number	Area	Stage	Purpose
181 - 197	528 m <sup>2</sup> – 713 m <sup>2</sup>	Stage 2	<b>General Residential</b>
198 & 199	345 m <sup>2</sup> & 347 m <sup>2</sup>	Stage 2	<b>Residential</b> – Compact Housing.
200 - 223	522 m <sup>2</sup> - 718 m <sup>2</sup>	Stage 2	<b>General Residential</b>
224 - 242	522 m <sup>2</sup> - 745 m <sup>2</sup>	Stage 1	<b>General Residential</b>
300	8.5976 ha	Stage 1	<b>Super Lot</b> – Third party future development likely to be a retirement village.
301	3,294 m <sup>2</sup>	Stage 1	<b>Lot for a future Local Centre</b>
303	1892 m <sup>2</sup>	Stage 1	<b>Super Lot</b> – Likely to provide for future high-density residential development.
304	1,980 m <sup>2</sup>	Stage 2	<b>Super Lot</b> – Likely to provide for future high-density residential development.
306	1.4133 ha	Stage 2	<b>Balance Lot</b> – Future residential development.
307	5,737 m <sup>2</sup>	Stage 1	<b>Super lot</b> – Likely to provide for future high-density residential development.
310	3.9907 ha	Stage 1	<b>Proposed School Site</b> - to be sold to the Ministry of Education and designated via a separate application.
402	134 m <sup>2</sup>	Stage 2	<b>Access Lot</b> – Access lot for Lots 136 - 138.
403	240 m <sup>2</sup>	Stage 1	<b>Access Lot</b> – Access lot for Lots 98 – 101.
404	240 m <sup>2</sup>	Stage 1	<b>Access Lot</b> – Access lot for Lots 118 - 121
405	146 m <sup>2</sup>	Stage 2	<b>Access Lot</b> – Access lot for Lots 140 – 142.
406	346 m <sup>2</sup>	Stage 2	<b>Access Lot</b> – Access lot for Lots 143 – 147.
407	145 m <sup>2</sup>	Stage 2	<b>Access Lot</b> – Access lot for Lots 154 – 156.
408	146 m <sup>2</sup>	Stage 2	<b>Access Lot</b> – Access lot for Lots 158 - 160.
409	330 m <sup>2</sup>	Stage 2	<b>Access Lot</b> – Access lot for Lots 161 – 165.
410	152 m <sup>2</sup>	Stage 2	<b>Access Lot</b> – Access lot for Lots 172 – 174.

Proposed Lot Number	Area	Stage	Purpose
500	390 m <sup>2</sup>	Stage 1	<b>Local Purpose Reserve (Drainage) to Vest</b> – to provide public reserve / stormwater land within the C2 Growth Cell.
501	5,151 m <sup>2</sup>	Stage 1	<b>Recreation Reserve to Vest</b>
502	2.3117 ha	Stage 1	<b>Local Purpose Reserve (Drainage) to Vest</b> – to provide public reserve / stormwater land within the C2 Growth Cell.
503	1.2593 ha	Stage 1	<b>Local Purpose Reserve (Drainage) to Vest</b> – to provide public reserve / stormwater land within the C2 Growth Cell.
504	238 m <sup>2</sup>	Stage 1	<b>Local Purpose Reserve (Accessway) to Vest</b>
505	1.0010 ha	Stage 2	<b>Local Purpose Reserve (Drainage) to Vest</b> – to provide public reserve / stormwater land within the C2 Growth Cell.
506	420 m <sup>2</sup>	Stage 2	<b>Local Purpose Reserve (Drainage) to Vest</b> – to provide public reserve / stormwater land within the C2 Growth Cell.
508	360 m <sup>2</sup>	Stage 1	<b>Local Purpose Reserve (Utility) to Vest</b> – wastewater pump station location.
510	3,286 m <sup>2</sup>	Stage 1	<b>Road to Vest</b>
511	5.9952 ha	Stage 1	<b>Road to Vest</b>
512	1,438 m <sup>2</sup>	Stage 2	<b>Road to Vest</b>
513	1,387 m <sup>2</sup>	Stage 2	<b>Road to Vest</b>
514	992 m <sup>2</sup>	Stage 2	<b>Road to Vest</b>
515	1.1433 ha	Stage 2	<b>Road to Vest</b>
<b>Total Area:</b>	<b>40.8398 ha</b>		

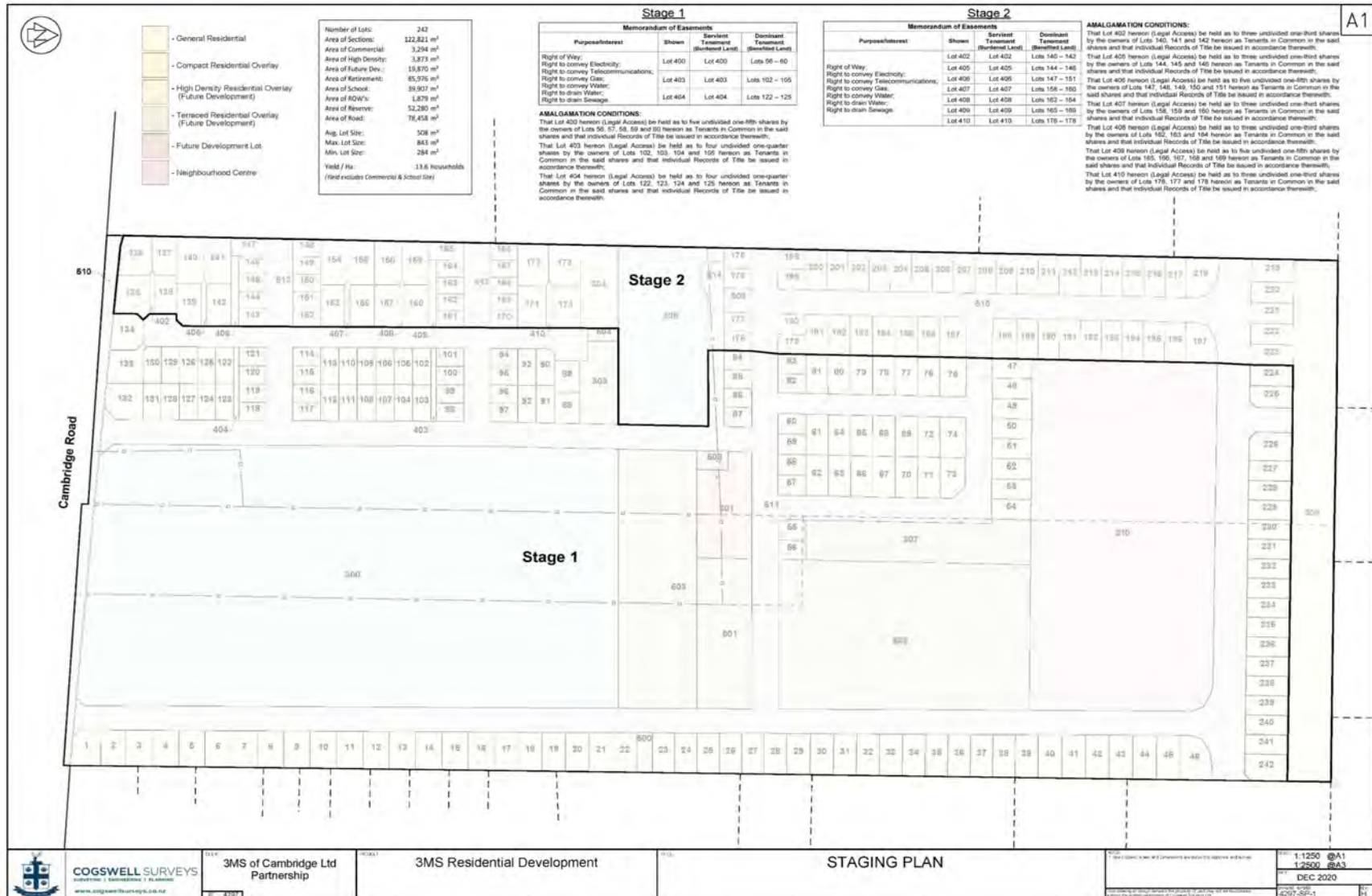


Figure 8. Staging Plan



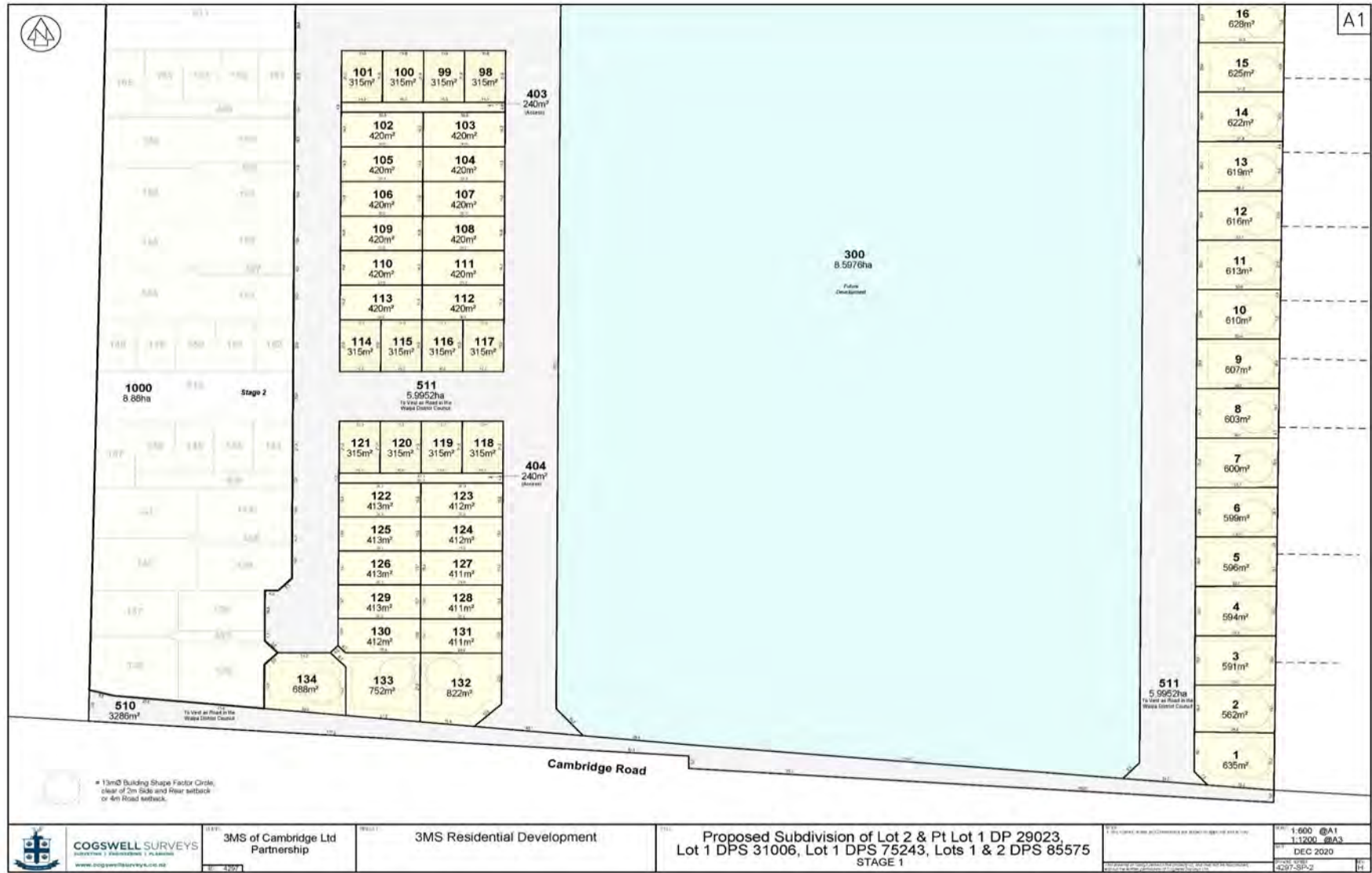


Figure 9. Scheme Plan - Sheet 2

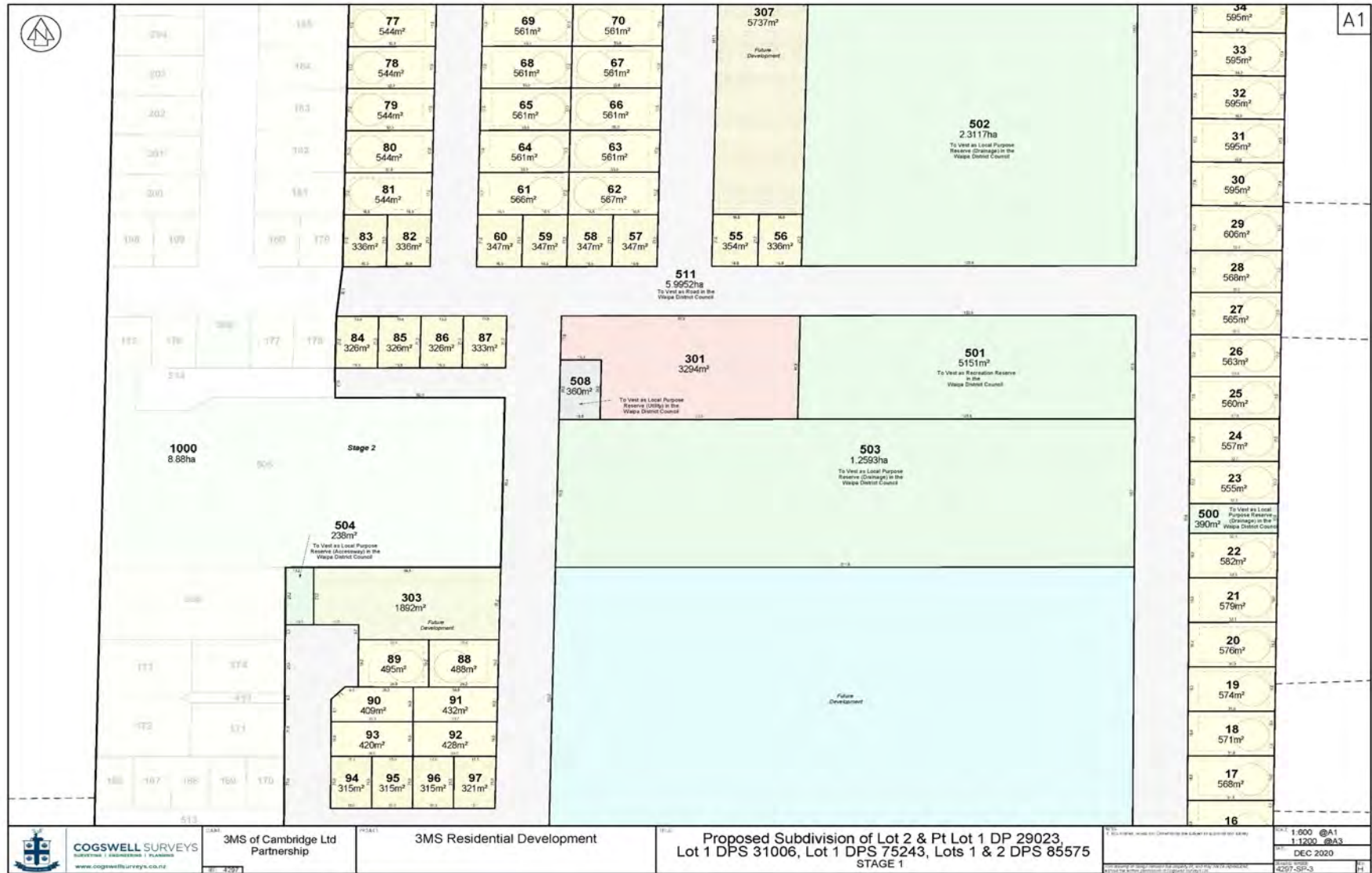


Figure 10. Scheme Plan - Sheet 3

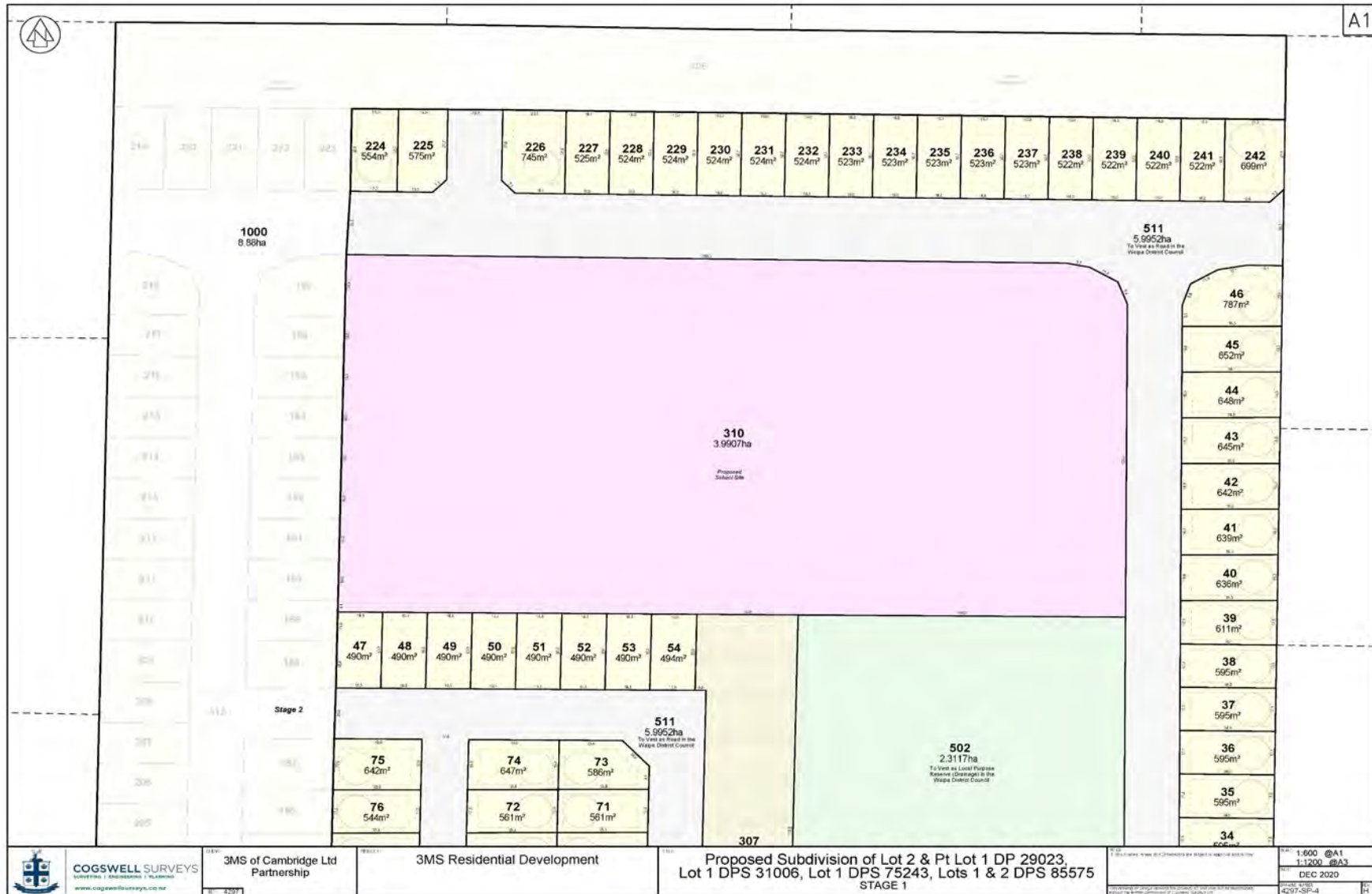


Figure 11. Scheme Plan - Sheet 4



Figure 12. Scheme Plan - Sheet 5



Figure 13. Scheme Plan - Sheet 6





Figure 14. Scheme Plan - Sheet 8

The key metrics for the subdivision are presented in the table below.

**Table 4. Subdivision Metrics**

<b>Metric</b>	<b>3Ms Development</b>
Number of Residential Lots	242
Area of sections	122,821 m <sup>2</sup>
Area of commercial	3,294 m <sup>2</sup>
Area of high density	3,873 m <sup>2</sup>
Area of future development	19,870 m <sup>2</sup>
Area of retirement village (super lot)	85,976 m <sup>2</sup>
Area of school	39,907 m <sup>2</sup>
Area of Right of Ways	1,879 m <sup>2</sup>
Area of reserve	52,280 m <sup>2</sup>
Area of road	78,458 m <sup>2</sup>
Average Residential Lot Size	508 m <sup>2</sup>
Maximum Residential Lot Size	843 m <sup>2</sup>
Minimum Lot Size	284 m <sup>2</sup>
Yield / hectare	13.6 households per hectare
Note: the yield excludes commercial and school site.	

### **3.4 EASEMENTS**

The memorandum of easements is detailed on the Scheme Plan, and also in the following table:

**Table 5. Memorandum of Easements**

<b>Purpose / Interest</b>	<b>Shown s</b>	<b>Servient Tenement (Burdened Land)</b>	<b>Dominant Tenement (Benefitted Land)</b>
<b>Stage 1</b>			
Right of way	Lot 400	Lot 400	Lots 56 - 60
Right to convey electricity			
Right to convey telecommunications	Lot 403	Lot 403	Lots 102 - 105
Right to convey gas			
Right to convey water			
Right to drain water	Lot 404	Lot 404	Lots 122 - 125
Right to drain sewage			
<b>Stage 2</b>			
Right of way	Lot 402	Lot 402	Lots 140 – 142
Right to convey electricity	Lot 405	Lot 405	Lots 144 – 146
Right to convey telecommunications	Lot 406	Lot 406	Lots 147 – 151
Right to convey gas	Lot 407	Lot 407	Lots 158 – 160
Right to convey water	Lot 408	Lot 408	Lots 162 – 164
Right to drain water	Lot 409	Lot 409	Lots 165 – 169
Right to drain sewage	Lot 410	Lot 410	Lots 176 - 178

### 3.5 INFRASTRUCTURE SERVICING

3Ms has engaged the following consultants to address the servicing considerations relating to its proposal.

This section summarises information from the following assessments

- › Integrated Transportation Assessment – Stantec (**Appendix G**)
- › McCaffrey Engineering Consultants, on behalf of 3Ms, has prepared a document that specifies how the site is to be serviced, which is attached to this report as **Appendix D**. This Engineering Report collates the technical information received by other specialist consultants, including a Three Waters Assessment prepared by Harrison Grierson and a Geotechnical Assessment undertaken by BTW Company.

#### 3.5.1 Transportation

An Integrated Transportation Assessment (“ITA”) has been prepared by Stantec Limited. The following information is provided from the ITA, which is also presented in full **Appendix G**.

##### Vehicular Access

It is proposed that two new local roads provide the principal points of vehicular access to the subdivision from Cambridge Road. As shown below on Figure 15, provision has also been made for four future connections to the west, one to the north and one to east.

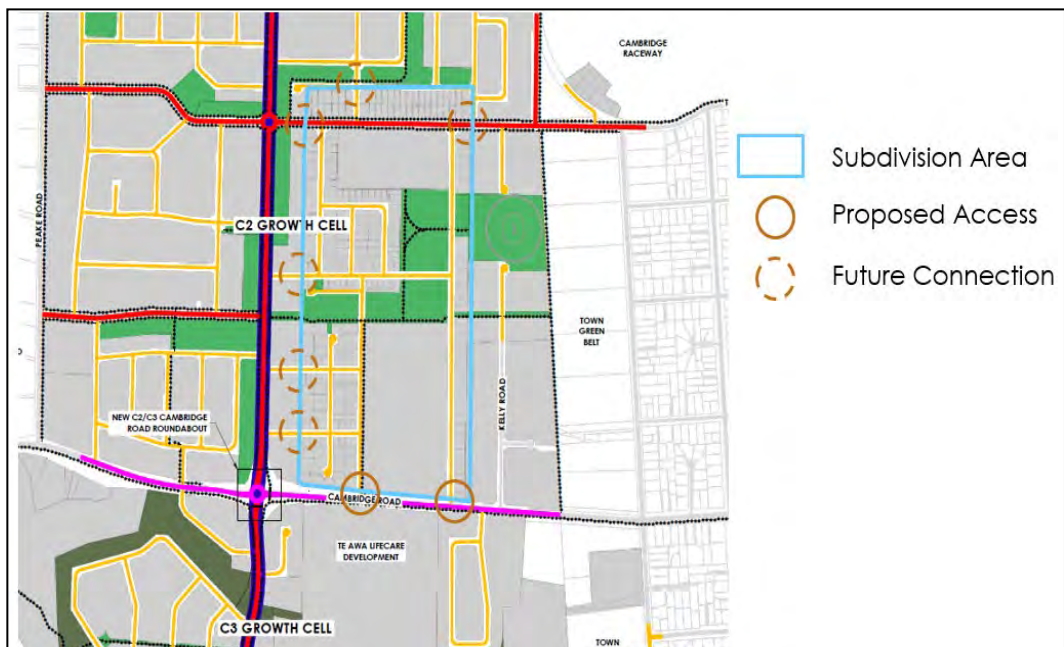


Figure 15. Structure Plan Road Network

## Roading Design

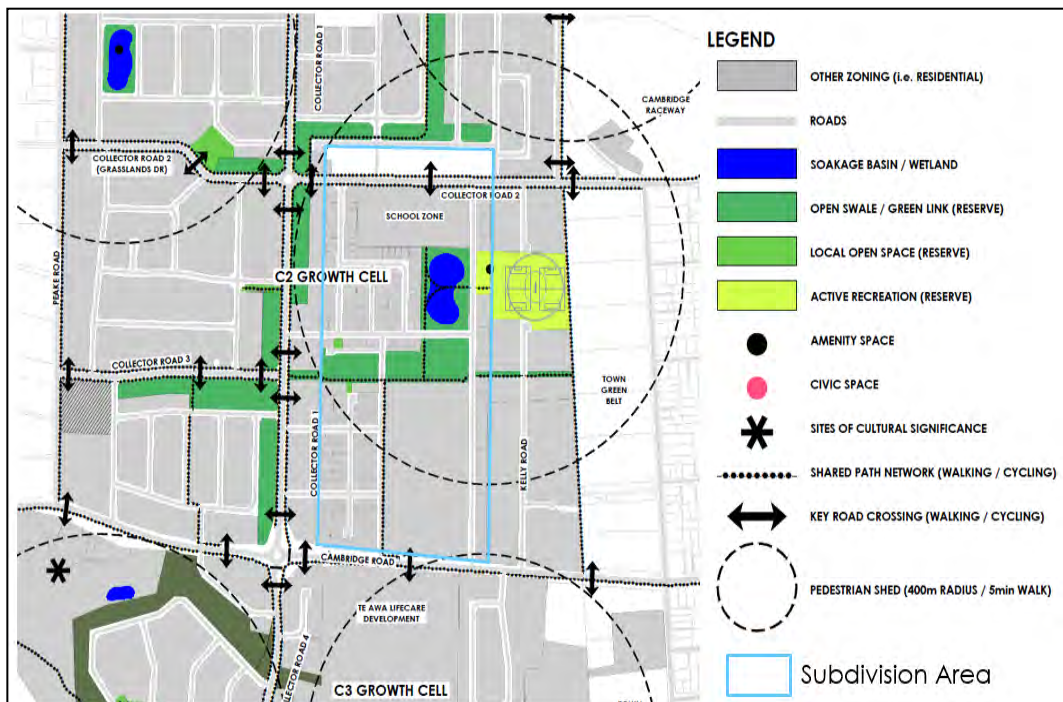
The road hierarchy within the subdivision is made up of up four levels of road:

- Collector Road;
- Local Road;
- Local Road (Strategic Cycling Connection (SCC)); and
- Local Access Road.

The road design plans are presented in **Appendix G** and detail the proposed roading for the subdivision. The ITA also provides an assessment of the roading design.

## Walking and Cycling Access

The proposed walking and cycling network is shown on Figure 16, in the context of the broader growth areas.



**Figure 16. Structure Plan Walking and Cycling Network**

The network centres on a central north-south spine running along Road 11 and through the open space areas to the school. East-west connectivity is provided along the collector road corridor and through the open space areas. Walking and cycling paths are also provided on each road corridor, as outlined later in this report.

The relatively central location of the neighbourhood centre puts it within a 400m (5 minute) walk of most of the subdivision.

Overall, the walking and cycling network has been designed to create a permeable network with on and off-road options, providing access through the site and to adjacent areas and facilities. Overall, is expected to create a sustainable and attractive network for pedestrians and cyclists.

### 3.5.2 Water Supply

A high-level assessment has been undertaken by Harrison Grierson to determine the possibility of servicing the 3Ms site from the existing 200mm diameter water pipe adjacent to Cambridge Road. This would be a temporary connection until it is replaced by the new 315mm diameter Waipa District Council bulk water main.

Based on earlier discussions with Waipa District Council, Harrison Grierson have assumed that the Waipa network will be able to supply the C2 growth cell including this development.

The water reticulation shown on the masterplan drawings is a concept layout based on the demand calculations. This network will be modelled and refined at detailed design.

#### Demand

Harrison Grierson has undertaken an assessment of the expected domestic demand for the proposed 3Ms development. This has been calculated using lot numbers and areas based on the development layout prepared by 3Ms (that is the subject of this application)

A daily demand of 260 l/person/day and population of three people per dwelling has been used for the assessment. This is based on the RITS requirement of a minimum of 2.7 people per dwelling. This rate has been applied to all the residential zones as the number of lots is known.

The Super-lot in the south of 3Ms property is expected to be developed as a retirement village. Harrison Grierson estimated that there will be 200 dwellings on this site based on an average of just over 400m<sup>2</sup> per dwelling.

The Ministry of Education School demand is based on a pupil and staff compliment of 1,056 people and an average demand of 23 l/person/day.

Peak flow rates have been calculated using a rate of 5 times the average flow rate. The assessment is presented in the following table.

**Table 6. Water Demand**

Land Usage	Total Area (Ha)	No. of Lots	Estimated Population	Average Daily Demand (m3/d)	Average Daily Flow (l/s)	Peak Flow (L/s)
General Residential	11.52	200	600	156.0	1.81	9.0
Terraced Residential	0.56	14	42	10.9	0.13	0.6
Compact Residential	1.76	61	183	47.6	0.55	2.8

Land Usage	Total Area (Ha)	No. of Lots	Estimated Population	Average Daily Demand (m3/d)	Average Daily Flow (l/s)	Peak Flow (L/s)
High Density Housing	0.32	20	60	15.6	0.18	0.9
Super-Lot Site (Retirement Village)	8.60	200	600	156.0	1.81	9.0
MoE School Site	3.99	1	1056	24.3	0.28	1.4
Neighbourhood Centre Area	0.19	1	9	2.2	0.03	0.1
<b>Total</b>	<b>26.94</b>	<b>497</b>	<b>2550</b>	<b>412.6</b>	<b>4.78</b>	<b>23.9</b>

### Firefighting Supply

This development will be designed to meet the RITS requirement of SNZ PAS 4509 FW2 firefighting standard. This requires a network capable of flows of 25 l/s during network demand of 60% of peak flow and minimum of 100 kPa residual pressure.

Using the peak demand flow of 23.9 l/s (Table 6) the network will need to meet a fire flow demand of 39.3 l/s.

### Summary

The network will be refined and modelled to meet these requirements at detailed design.

An initial assessment of the connections servicing the development at peak fire flows show the development would require a minimum of two 150mm diameter connections to the WDC bulk main. This would result in peak pipe velocities of approximately 1.5 m/s in each connection.

The demand and flows will need to be verified with the Waipa District Council to confirm there is adequate capacity to meet the proposed phases of the development

### 3.5.3 Wastewater Reticulation

Based on the size of the development and small lot sizes, this development will require piped reticulation to a wastewater treatment plant.

The closest gravity network is located in Kelly Road. This is a small network with a small pump station pumping to the Cambridge network in Williams Street. This pump station and reticulation is not able to meet the flow demands from the 3Ms development.

Harrison Grierson recommends that this development be serviced by gravity network to a central wastewater pump station that will discharge to an agreed manhole within the Cambridge wastewater network.

## Wastewater flow

For the purposes of this assessment Harrison Grierson used the following wastewater parameters:

- › Population rate of three people per dwelling;
- › Wastewater flow rates of 180 l/person/day;
- › Peak flow factors from RITS Table 5-2;
- › Infiltration allowance of 2,250 litres per hectare per day; and
- › Surface water ingress allowance of 16,500 litres per hectare per day.

The following table summarises the flows and emergency storage for the 3Ms development.

**Table 7. Wastewater Flows**

Land Use	Population	Cumulative Average Daily Flow (m <sup>3</sup> /day)	Cumulative Peak Daily Flow (m <sup>3</sup> /day)	Cumulative Peak Wet Weather Flow (m <sup>3</sup> /day)	Cumulative 9 Hour Storage Volume (m <sup>3</sup> )
General Residential	600	145.92	409.92	600.00	54.72
Terraced Residential	42	155.58	438.06	637.38	58.34
Compact Residential	183	196.14	542.64	771.00	73.55
High Density Housing	60	208.86	580.56	814.20	78.32
Super-Lot Site (Retirement Village)	600	348.21	942.21	1317.75	130.58
MoE School Site	1056	568.39	1483.15	1924.52	213.15
Neighbourhood Centre Area	9	570.62	1488.62	1933.13	213.98

## Reticulation System

An initial wastewater network has been designed for the project. The layout of the sewer reticulation has been largely dictated by the road network, but also by the topography and its location in relation to the greater Cambridge sewer reticulation system.

A wastewater pump station has been positioned centrally within the 3Ms development. As this is the first development within the C2 Growth Cell it is expected that this pump station



will be a terminal pump station catering for the greater C2 zone (not just the 3Ms development). It is expected that all the other C2 pump stations will discharge into the manhole in the northeast corner of the development and the network from this point to the 3Ms wastewater pump station will be designed to cater for these additional flows.

The preliminary network was assessed to verify the position of the pump station would be able to service the entire development.

Using the RITS minimum pipe grades all of the pipes were able to drain to the selected location. The invert level of the discharge pipe to the wastewater pump station was found to be 5.6 m below the design surface. This would result in a wet well depth of about 7m

### **Summary**

The proposed layout for the 3Ms development can be serviced with a gravity network to a central wastewater pump station. The 3Ms wastewater pump station is also expected to service future developments within the C2 Growth cell as the terminal pump station. The detailed design will be carried out to accommodate future developments in the zone.

### **3.5.4 Stormwater**

The 3Ms site is located entirely within the area that is subject to the stormwater discharge permit obtained by the Waipa District Council in 2020. This resource consent authorises the discharge of stormwater onto or into land (as well as the Waikato River) across the entire extent of the C1 and C2/C3 Growth Cells.

There is an approved Stormwater Management Plan (“**SMP**”) for the C1-C3 Growth Cells that was prepared by the Waipa District Council for its stormwater discharge permits. The SMP requires specific Low Impact Design points to be achieved for each development. The following sections (from the work undertaken by Harrison Grierson) detail how the 3Ms site will be serviced from a stormwater perspective, and address how the proposal achieves the requirements of the SMP.

#### **Soil Conditions and Soakage Requirements**

The 3Ms site sits on soil of the Hinuera Formations, which are alluvial sediments generally consisting of silts and sands. The geotechnical reports for the area identified an underlying iron pan layer in parts of the site (the full extent of this pan is not known at this stage). This iron pan is a thin, relatively low permeability layer that results in a perched water table. For this reason, on-lot soakage for properties sited above this pan is not recommended at this as it would require punching through the iron pan layer for each on-lot soakage device.

The BTW preliminary geotechnical report confirmed the presence of a perched groundwater table at approximately 2 metres depth and an unconfined aquifer (true groundwater) starting at an approximate depth of 6 to 7 metres depth.

The presence of the deeper aquifer indicates suitability for stormwater soakage at a deeper level.

The SMP assessed the soakage for the greater C2 Growth cell as having soakage rates between 35 – 860 mm/hr with an average of 216 mm/hr. This would be considered as

relatively good soakage potential as it exceeds the 150 mm/hr minimum rate recommended in the RITS for soakage devices.

### **Stormwater Management Design**

As per the regional guidelines, all the stormwater will need to be treated to acceptable standards before discharge from the site. The proposed approach for the 3Ms stormwater system is to maximise soakage to ground. As on-lot soakage is not considered a suitable option for stormwater management (due to the presence of the iron pan layer) 3Ms propose to provide a central stormwater soakage basin to treat and soak stormwater for the entire development.

The primary stormwater system will be a piped gravity network that will convey all stormwater runoff to the central soakage basin. This network will be designed to cater for the 10-year storm events. Stormwater from larger events, or in the case of blocked pipes, will be conveyed overland along road and reserve corridors to the central soakage system. For areas with isolated low points the piped network will be designed to cater for the 50-year event to reduce ponding periods in those locations.

The general stormwater scheme is shown in Figure 17. The scheme shows all stormwater being directed to the forebays then flow through a pipe into the soakage basin (Basin 1). The soakage basin will have a soakage array in the northern end that will allow stormwater to soak through the iron pan layer to the aquifer below.

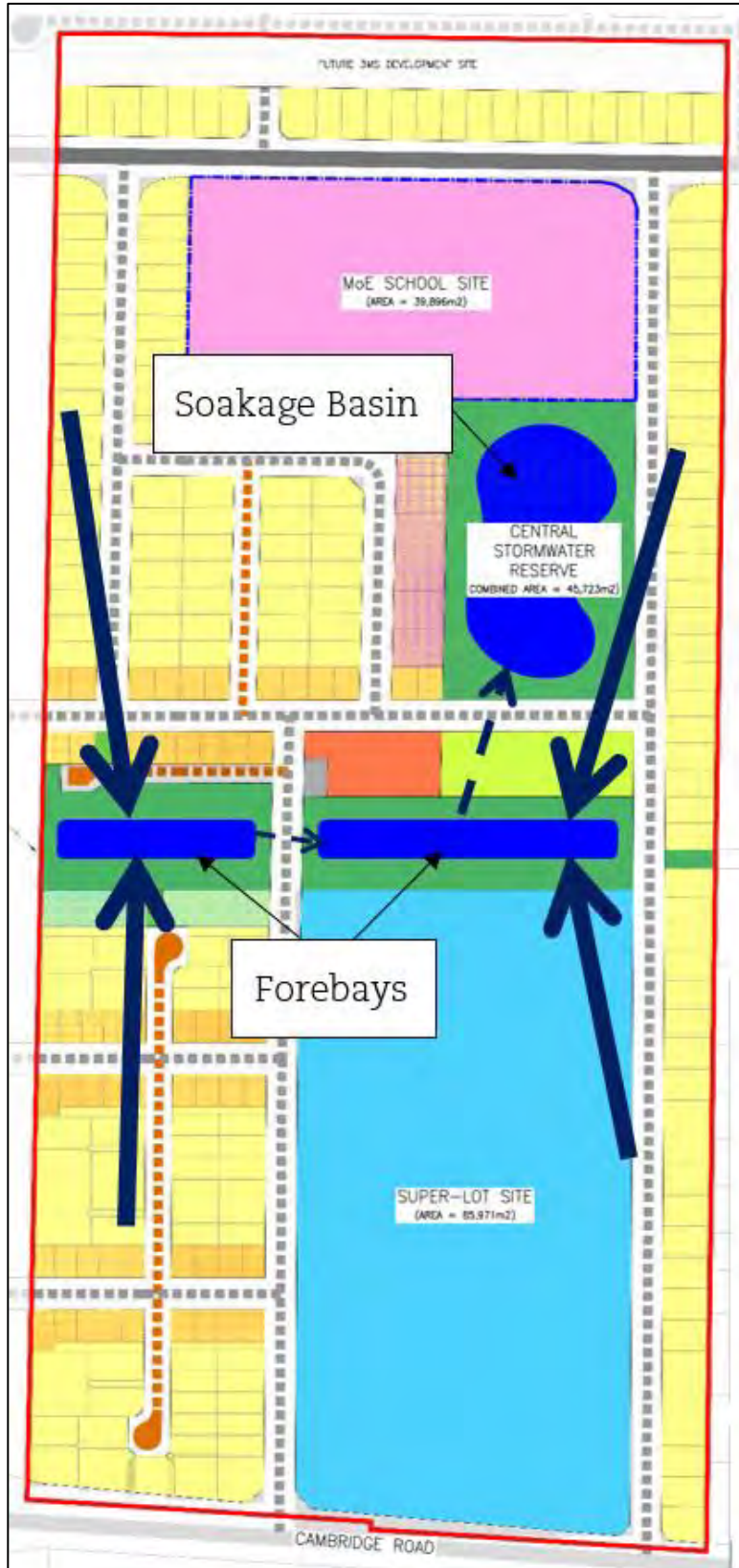


Figure 17. Stormwater Scheme

## Preliminary Stormwater Assessment

A preliminary assessment was carried out on the property to determine the feasibility of the proposed central soakage system.

This included calculating the stormwater runoff volumes for the 2, 10, 50 and 100-year storm events using the Rational Method. The results were then used to assess the required soakage area and storage volume for the central soakage basin. The results of the critical storms for each event are summarised in Table 8 and detailed calculations included in the Appendices of the Harrison Grierson report.

A soakage design rate of 100 mm/hr has been used based on the average rate of 216 mm/hr provided in the SMP. A soakage base area of 5,500m<sup>2</sup> was used when assessing the required storage volumes for the soakage basin.

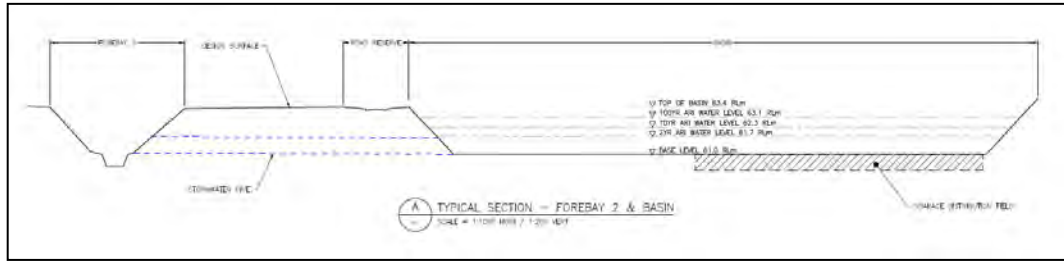
Rainfall data was obtained from the NIWA HIRDS website and corrected to cater for climate change of 2.1°C.

**Table 8. Stormwater Storage and Soakage Summary**

Storm Event	Critical Storm Duration (h)	Total Runoff (m3)	Volume to Soakage (m3)	Required Storage (m3)	Time to Clear (h)
ARI = 2	6	12,037	3,300	8,737	16
ARI = 10	12	23,213	6,600	16,613	30
ARI = 50	12	33,022	6,600	26,422	48
ARI = 100	24	44,315	13,200	31,115	57

The preliminary earthworks design has a total soakage basin volume of approximately 40,000m<sup>3</sup>. These results indicate that the proposed basin has adequate volume to store the 100-year event and clear it within 72 hours at using a soakage zone of 5,500m<sup>2</sup>.

The flood levels are shown in the following figure below show a flood depth of 2.1 metres for the 100-year event. The calculations to determine the flood storage levels do not include the available storage within the forebays. Inclusion of the forebays would further reduce the flood depths and will be addressed at the detailed design stage when the basin sizing is finalised and site-specific soakage test data is available.



**Figure 18. Section Through the Stormwater Forebays and Soakage Basin**

### **Stormwater Reticulation**

An initial stormwater network has been developed by 3Ms that has confirmed that the whole development can be serviced using a piped network. All of the pipes were able to meet the RITS minimum grade requirements with outlets into the forebays.

### **Flood Risk**

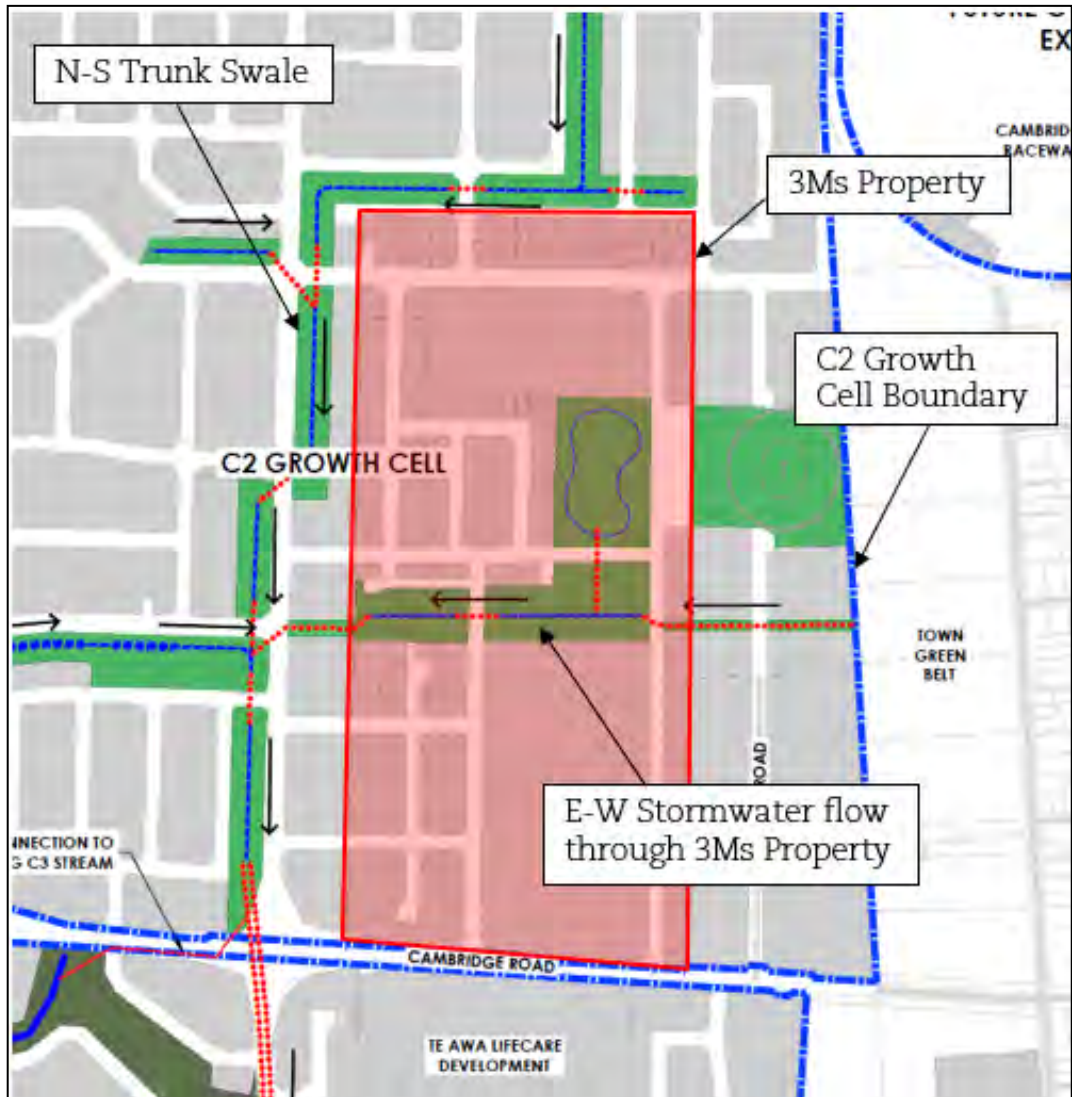
The SMP has confirmed that the site is not at risk of flooding from the Waikato River.

In the event that the proposed basin system fails soak the stormwater to ground the system will backup and overflow to the west of Forebay 1 and flow into the existing farm drain system.

### **Compliance with SMP and Structure Plan**

The proposed scheme is in accordance with the SMP and the Structure Plan for the C2 Growth Cell. The scheme provides treatment and disposal of the stormwater within 72 hours, achieved through reduced runoff and increased deep infiltration.

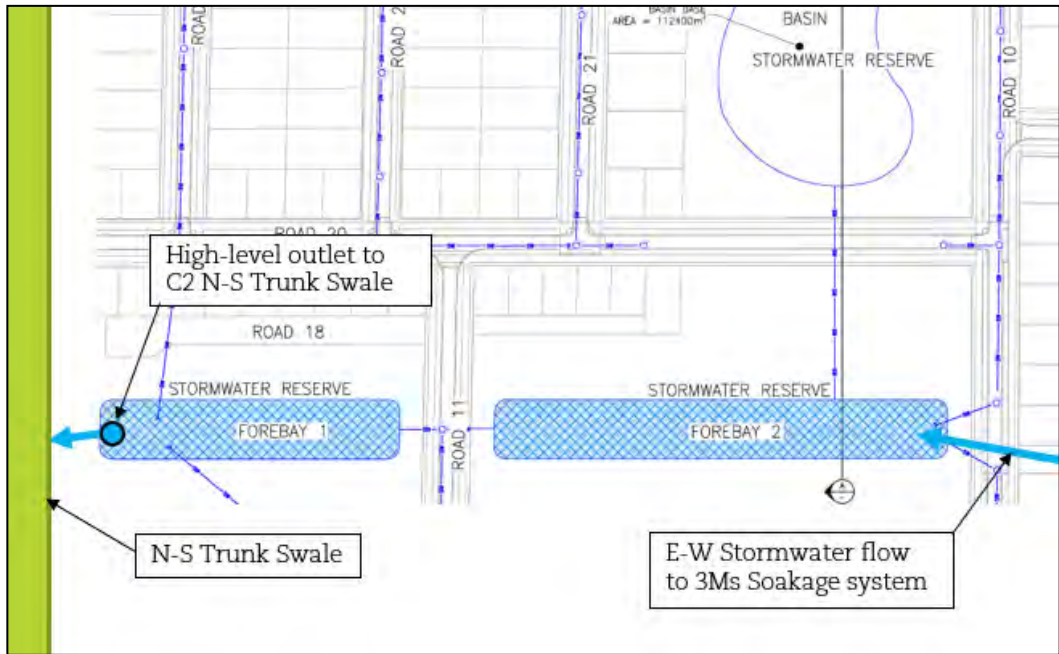
The SMP proposes a trunk swale system to drain the C2 Growth Cell to the Waikato River. This swale is intended to run along the western boundary of the 3Ms property ultimately discharging into the Waikato River. A second large swale is proposed that will convey flows from the east of the 3Ms property. This swale is expected to flow east to west through the 3Ms property and into the north–south trunk swale. Figure 19 shows the integration of the 3Ms Property within the C2 Structure Plan



**Figure 19. Structure Plan Stormwater Integration (Updated 3Ms Layout)**

The positioning of the stormwater reserve within the proposed 3Ms development allows for integration with the C2 Structure Plan. The forebays can be extended to create the east-west swale connecting the east of the C2 Growth cell with the north-south trunk swale. However, 3Ms has received engineering advice that there would be greater benefit in retaining the 3Ms forebay and soakage basin and integrating flows from the east into forebay 2, as shown in Figure 20 below. A high-level outlet from Forebay 1 to the main North / South trunk swale could be added, effectively converting the 3Ms soakage system into a soakage and detention system for the eastern part of the C2 development. This would increase infiltration and reduce runoff to the Waikato River while retaining the amenity benefits of the stormwater reserve.

It is also noted that the east/west stormwater swale is proposed in the Structure Plan and is being retained by 3Ms as part of this proposal.



**Figure 20 . Proposed Detention and Soakage Integration**

**Compliance with SMP Toolbox**

The 3Ms development is within the C2 South Catchment within the SMP and requires a minimum scope of 9 points to meet the stormwater requirements. The scoring for the development is presented in the following table.

**Table 9. Toolbox for 3Ms Development**

Typical Components	Waikato Catchment – C2 South (9 points with no natural waterways within the development)	3Ms Approach	Points
<b>LID Devices</b>	<b>Total Minimum Required is 5 Points</b>		<b>5</b>
Infiltration devices to reduce runoff volume	Meeting the capture and infiltration requirements for the 100-year ARI event for 100% of the site	Sized as part of the 3Ms consent application	6
<b>Source Control</b>	<b>Total Minimum Required is 4 Points</b>		<b>4</b>
Use of building or site materials that do not contaminate	Residential roof gutters, downspouts made of non-contaminant leaching materials (assuming 50% or residential and commercial)	Developers toolbox	1
Water re-use	Site use for garden watering and for non-potable inside water uses including laundry and toilets is 3 points	Developers toolbox	3
<b>Total Points</b>			<b>10</b>

### **Stormwater Integration with Neighbouring Properties**

The existing farm drain running through the 3Ms property will be diverted to run through the Stormwater Reserve parallel to the forebays. This will allow for upstream flows from the undeveloped areas at the northern end of Kelly Road (east of the 3Ms property) to remain connected to the existing farm drain network. This drain will eventually be popped from Kelly Road to Forebay 2 when these areas are developed.

The existing properties on the southwestern portion of Kelly Road currently slope towards the 3Ms development. The new stormwater network will extend to include these properties as the earthworks of the 3Ms development will impound runoff in this area.

### **Summary**

Harrison Grierson concludes that, based on its assessments of the site, it believes the central soakage basin is a suitable option to manage the stormwater from the site while allowing integration with the planned greater C2 Growth Cell stormwater systems.

Additional soakage testing is required to confirm the soakage rates below the iron pan layer at the stormwater basin area before detailed design can be carried out.

### **3.5.5 Utilities**

3Ms has been in discussions with the following parties in respect to utility services:

- › First Gas in respect of gas supply;
- › Waipa Networks in respect of electricity distribution; and
- › Ultra Fibre in respect of internet connectivity.

All parties have confirmed that the site can be appropriately serviced.

## **3.6 SUITABILITY OF THE SITE**

BTW Company was engaged by 3Ms to undertake a geotechnical assessment of the site to confirm that the property was suitable for the intended residential development. The geotechnical assessment is presented in **Appendix D**, and concludes that the 3Ms site is suitable for the intended residential development.

## **3.7 URBAN DESIGN**

### **3.7.1 Layout**

The following information is from the Urban Design Statement that was prepared by Chow Hill which characterises the 3Ms development from an urban design perspective. The full urban design statement is presented in **Appendix H**.

#### **Circulation**

The specific approaches to movement of people, bicycles and vehicles are as follows:



- › The proposed street network builds on the intent of the structure plan, where a gridded arrangement is adopted for good connectivity and efficient and easily used development blocks.
- › The main emphasis of the proposed roading network is on north / south movement which allows the scheme to extend northwards from Cambridge Road into to the depth of the property. In the longer term the scheme does allow west / east streets which can connect to the proposed future collector road to the west.

### **Stewardship**

The proposed scheme will be successful if people value the place and look after it. To support this, the configuration of streets and spaces is organised as follows:

- › Open spaces are edged in part with streets to provide good access and overlooking of the open space.
- › Where development sites adjoin open spaces, the design of the buildings will both be configured to enjoy the amenity of the outlook over the space, while also providing a degree of overlooking as a CPTED measure.
- › Streets are edged with building frontages for overlooking, other than in locations where there is open space.
- › The interface of the private residential areas of the site and the public realm are generally either at street edges or where private space adjoins public open space. In all situations, stewardship will be supported through:
  - › Adoption of good quality boundary treatments, whether soft landscape, fencing, walls or other features, with variety in treatment, height and yard depth.
  - › Provision of gates or entrances that communicate the importance of the public realm and a sense that the building frontage is used by residents and is important to them.
  - › Provision of overlooking of the public realm from either private open space, ground floor accommodation or upper spaces that overlook the street or public open space.

### **Diversity**

The scheme provides for a mix of outcomes in the following ways:

- › There will be a mix of residential, open space, education and commercial uses.
- › The relatively level nature the site allows for dwellings to provide for a mix of abilities, with the potential for level access if required.
- › The proposed range of lot sizes provides for a range of different house typologies of different values.

### **Public Realm**

This is an important aspect of the development and is comprised of the following:

- › At the broad scale, significant stormwater reserve spaces constitute an organising framework, which is also envisaged to be an open space amenity at a district level.
- › The focus of the scheme is the proposed central stormwater reserve, complemented by the proposed school and local centre. This is expected to be a focus of activity in the neighbourhood.
- › The proposed arrangement of open spaces allows for a future connection to the town belt around the existing urban area of Cambridge.

### **Sustainability**

The proposed scheme addresses sustainability as follows:

- › **Social** -the scheme has allowed for connections into the wider community to ensure that the scheme is a connected part of the wider neighbourhood
- › **Environmental** - the layout of the streets has in part been governed by the aim of allowing good solar access to dwellings. The majority of the proposed lots face either east or west, which allows their rear private gardens to receive sunshine for part of the day. In addition, the civil engineering design of the site and open spaces will be closely related to the existing ecology and hydrology of the site.
- › **Economic** - The scheme offers the potential for a range of property values, while also adding value beyond simply creating housing lots, through the wider fit of the design with the neighbourhood. The provision of an appropriate level of commercial space on the site will offer direct and indirect economic benefits as well.

### **Desirability and Lifestyle**

The aim is to make this development a desirable place to live in Cambridge. The site has a number of open space amenities on hand and supports Cambridge as a place to move around on foot or on bicycle. At the more local level, the intent is that the detailed design of houses and landscape is controlled to ensure a good quality outcome overall. The mix of uses and wider movement connections will support a range of lifestyle choices for different people. The open spaces provide for recreation and the commercial local centre offers a potential community focus.

### **Behaviour**

To support a good quality environment overall, design guidance will be provided by 3Ms. This will identify the required performance of proposed housing designs relative to:

- › Architectural design and expression;
- › Landscape Interface;
- › Street address and presentation;
- › Greenness; and
- › Landscape setting.

## Character

The existing built fabric of Cambridge displays a range of building types that are representative of the eras in which they were built, rather than of the specific location and context. Beyond the traditional commercial centre, residential areas include villas, art deco style dwellings and more recent dwelling styles using the typical range of materials such as brick, clay tile profiled metal and various lightweight timber cladding materials.

As a greenfield site, the property does not offer any significant built cues as to an appropriate quality and type of future development. On this basis, the intent is to follow history and promote good quality outcomes that reflect the following ideas:

- › The use of strong built forms, including the use of angular and visible roof forms: ideas that are advocated by the structure plan and reflect some of the more memorable built forms in Cambridge.
- › A palette of materials that are relatively robust and rely on inherent texture, such as timber cladding and masonry in different forms.
- › A range of enduring colours that have contrast but are generally natural hues that reflect the colours of the land and nature.

The below figure shows the 3Ms lot layout amongst the current wider environment.

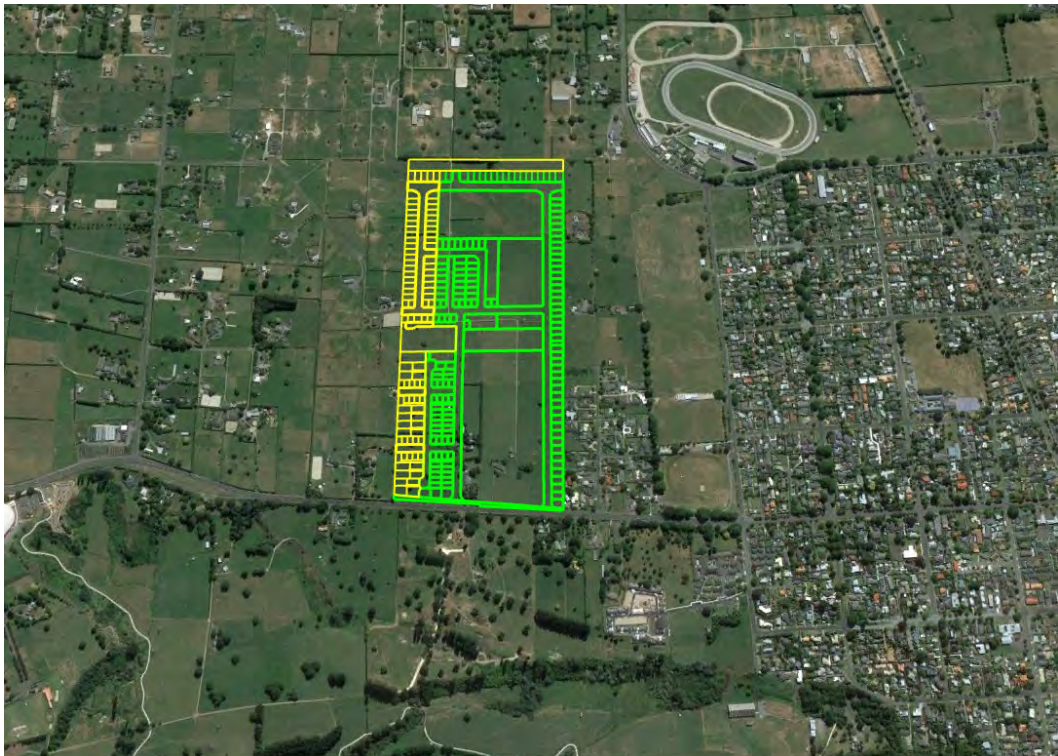


Figure 21. 3Ms Subdivision amongst the Existing Environment

### 3.7.2 Housing Typologies

LAD Architecture was engaged by 3Ms to prepare indicative (concept) housing typologies, layouts, elevations and designs for the housing within the subdivision. The following figures provide an overview of the concept plans (the full plans are provided in **Appendix H**).

These housing designs have been included in this AEE as part of definition the urban design of the development, rather than for any land use consenting purposes. The current concept designs show that even if the site is zoned fully residential at the time the subdivision is at s224 stage, that land use consent may be required.

The following figures provide an overview of the housing typologies and the urban design from a dwelling perspective.

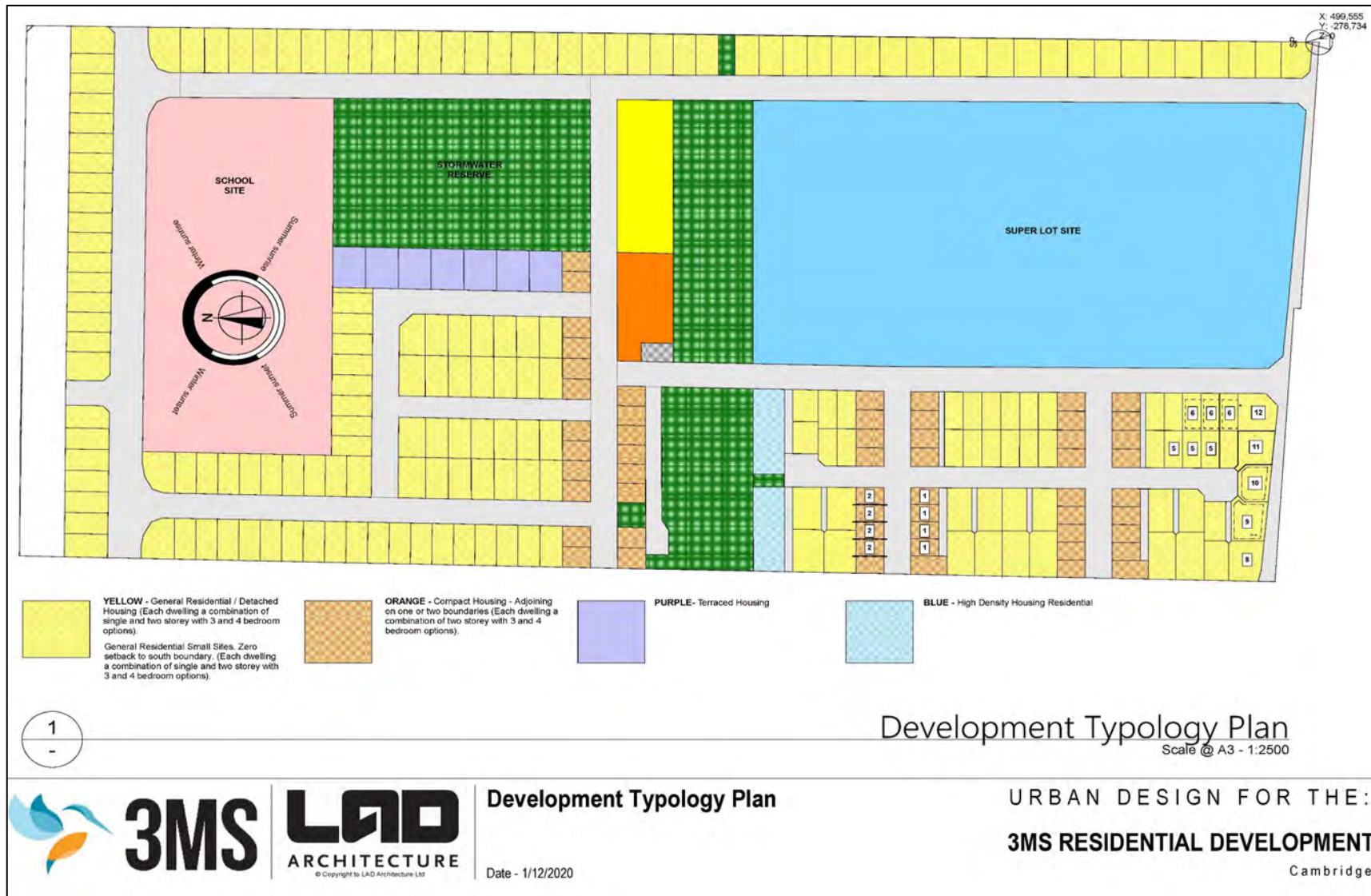


Figure 22. Concept Housing Typology Plan



Figure 23. Inspiration Images – General Residential



**Typology # 2 - GENERAL  
RESIDENTIAL SMALL SITES**  
 Inspirational images courtesy of Pinterest  
 Date - 25/11/2020



**URBAN DESIGN FOR THE:  
3MS RESIDENTIAL DEVELOPMENT**  
 Cambridge

Figure 24. Inspiration Images – General Residential (Smaller Sites)



Figure 25. Inspiration Images – Compact Housing





Figure 26. Concept Cladding Palette



Figure 27. Concept Roofing Palette



Figure 28. Concept Colour Palette

### 3.7.3 Landscaping

Line and Design was commissioned by 3Ms to design the landscaping of the development. The landscaping has been designed to nurture a healthy community with flexible interactive spaces that are welcoming and provide a connection with nature.

The following figure provides an overview of the landscaping concept for the 3Ms development, which are also presented in the Urban Design Statement in **Appendix H**.