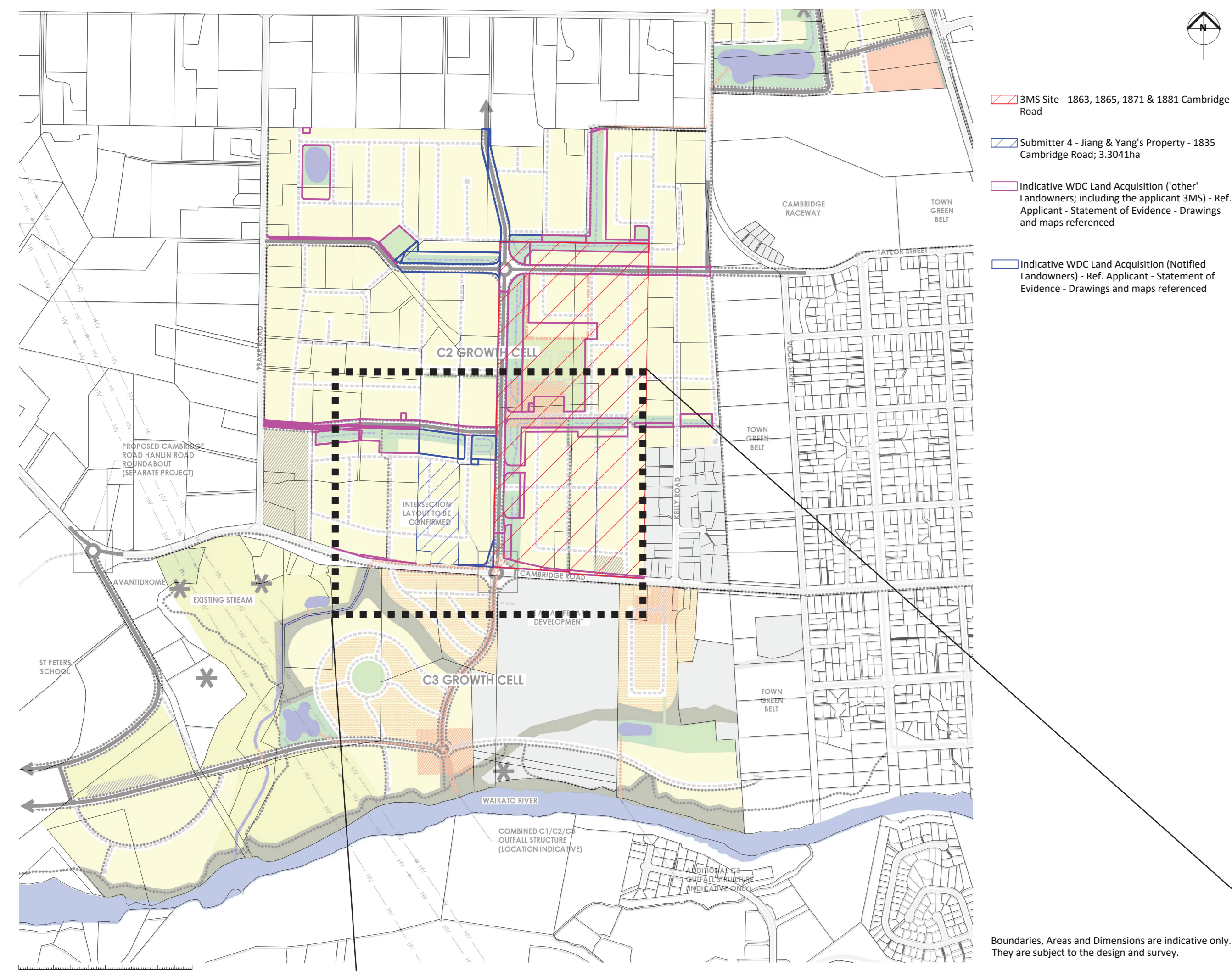


**PRESENTATION AT RESOURCE CONSENT HEARING - SP/0179/20 3MS OF  
CAMBRIDGE LIMITED PARTNERSHIP – 1863, 1865, 1871 & 1881 Cambridge Road**

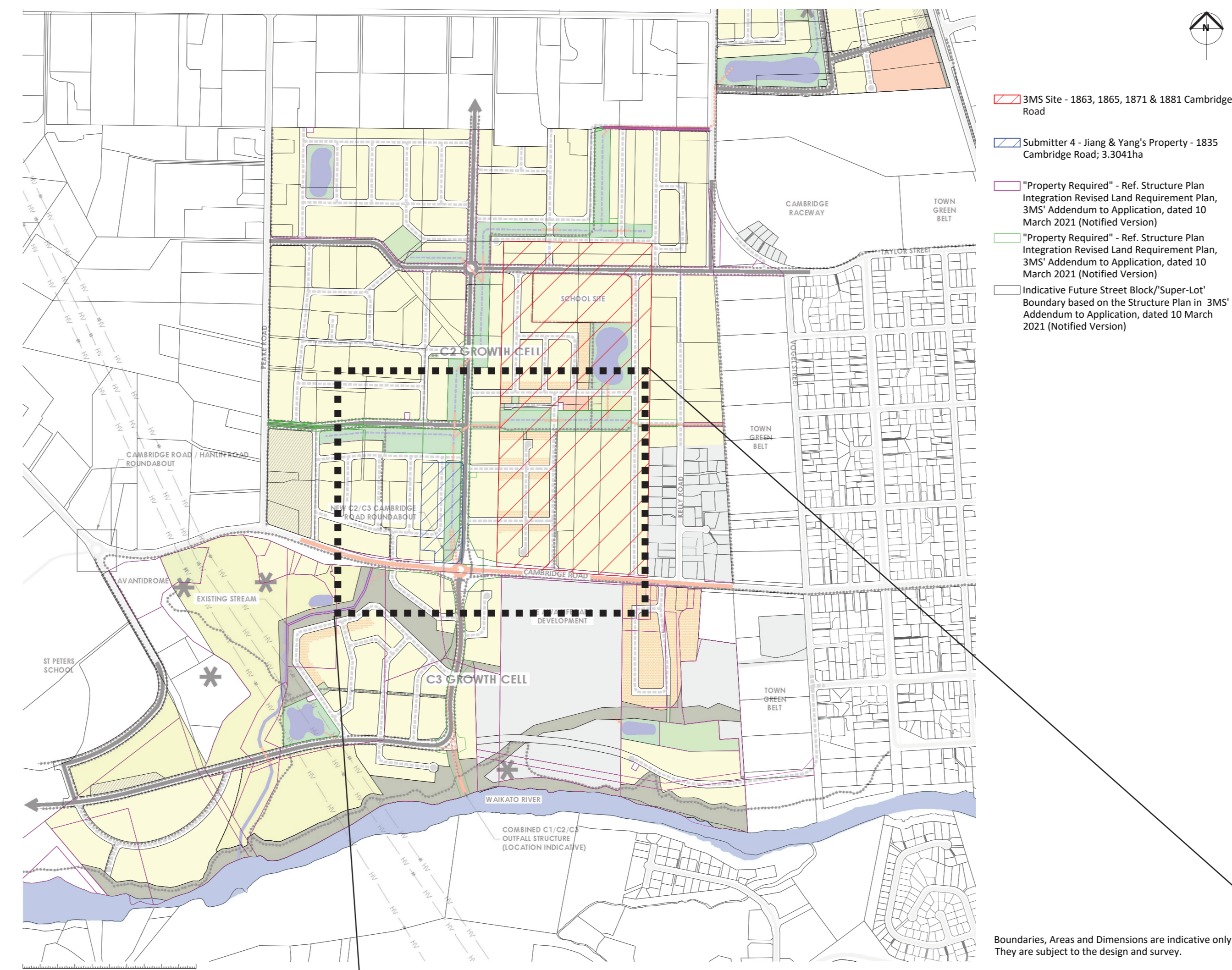
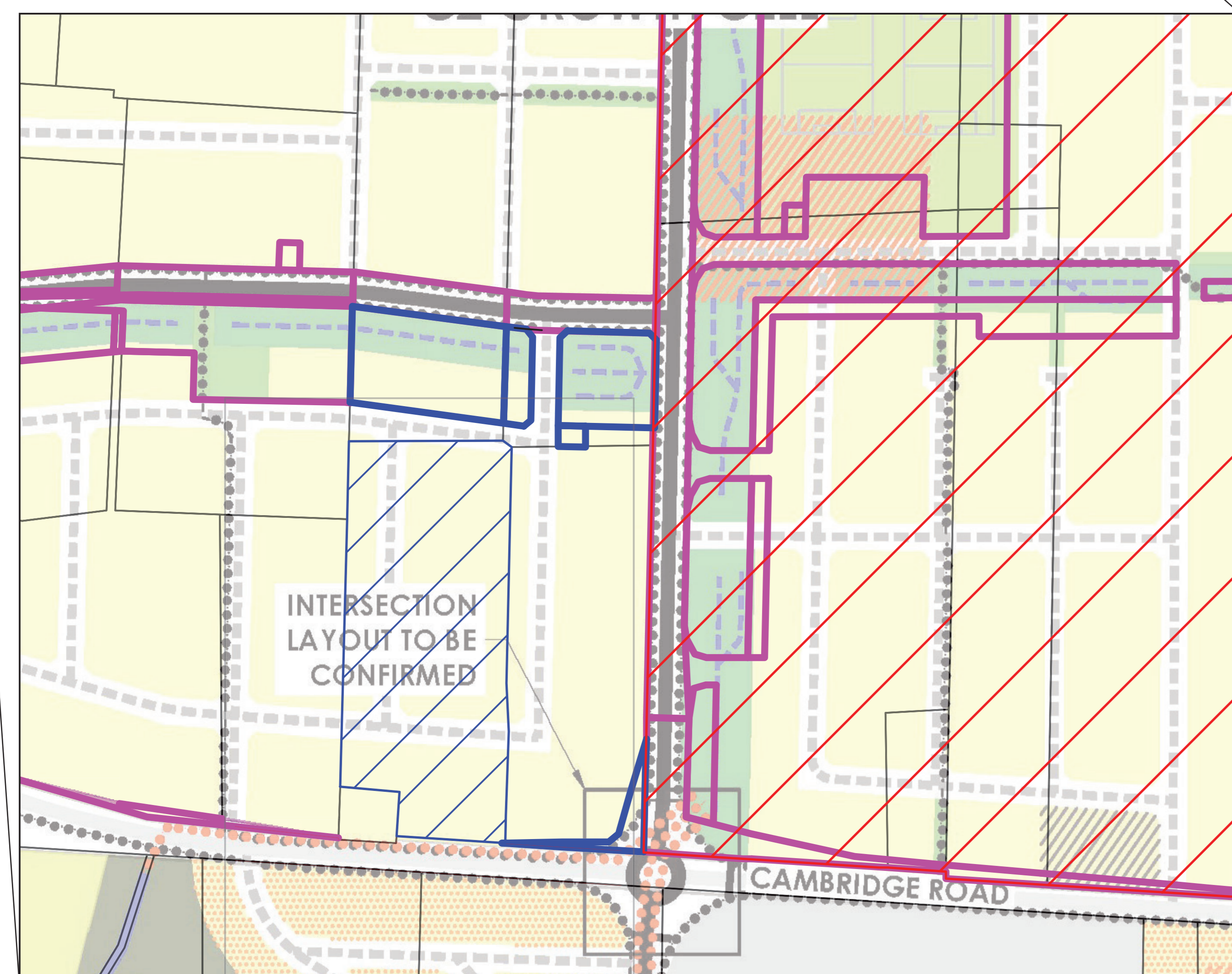
**by Jimmy Jienan Zhuang**

Dated: 25 May 2021

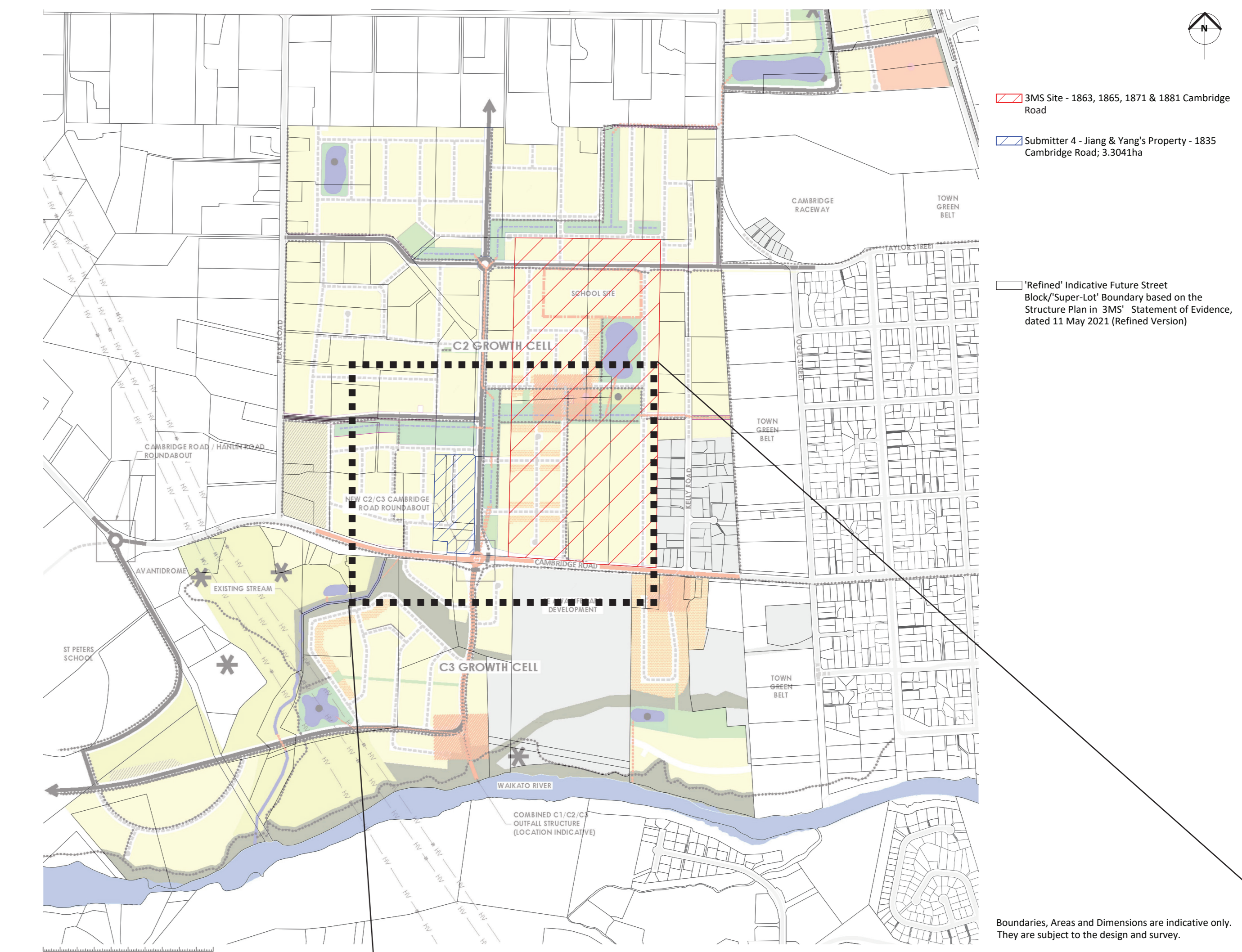
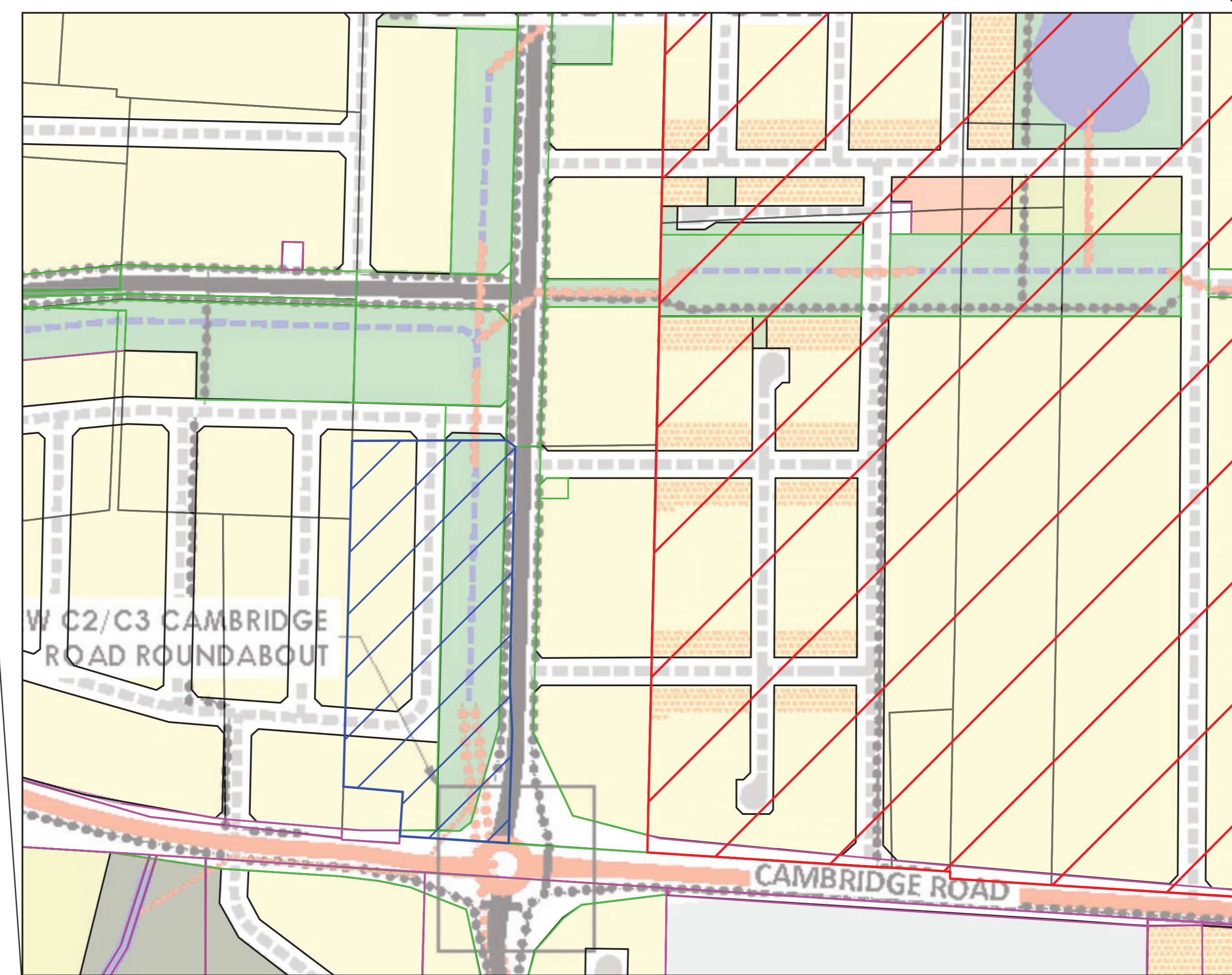
# Effects on Street-Block Layout beyond the Application Site



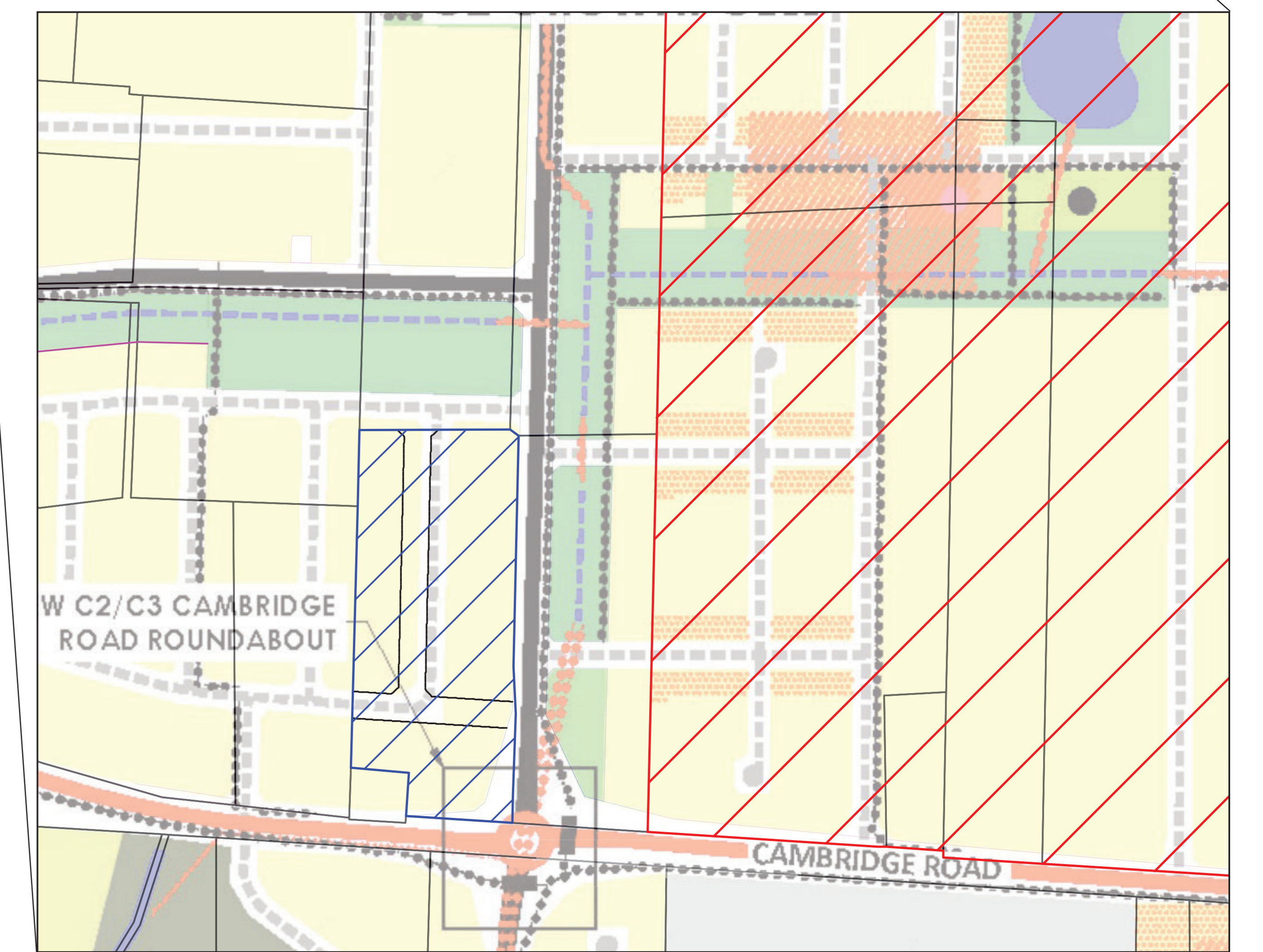
WDC Structure Plan



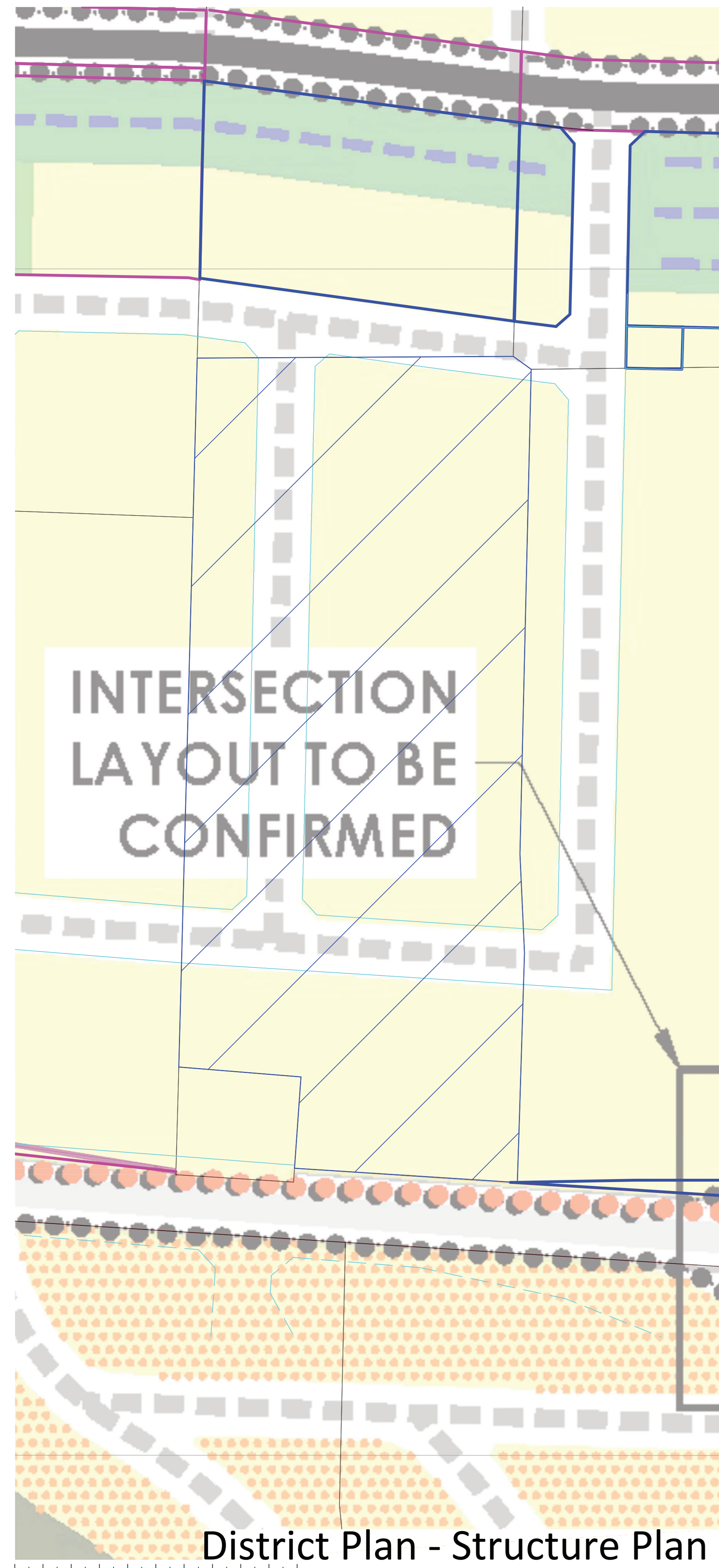
Notified Version - Structure Plan



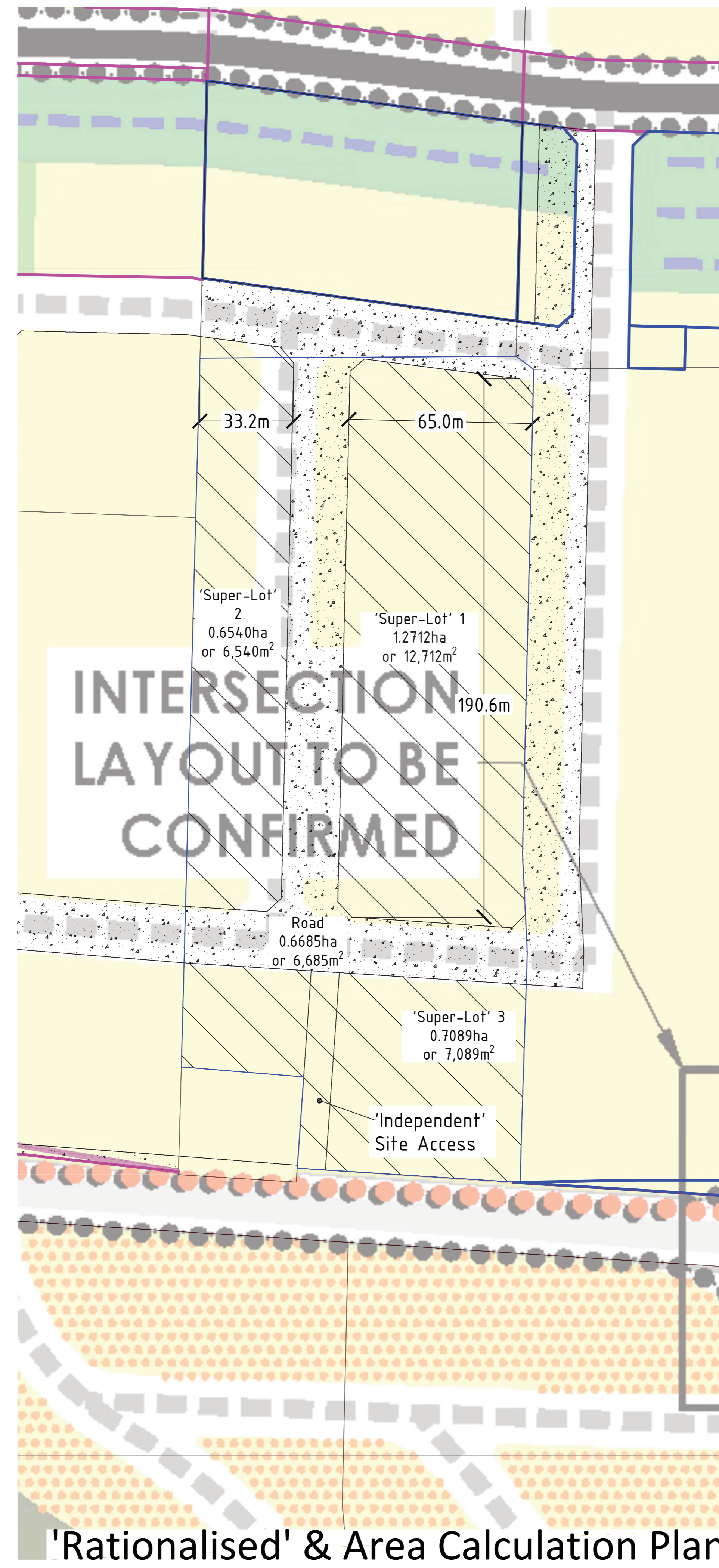
Refined Version - Structure Plan



# Quantify Effects - Reduction in Developable Land

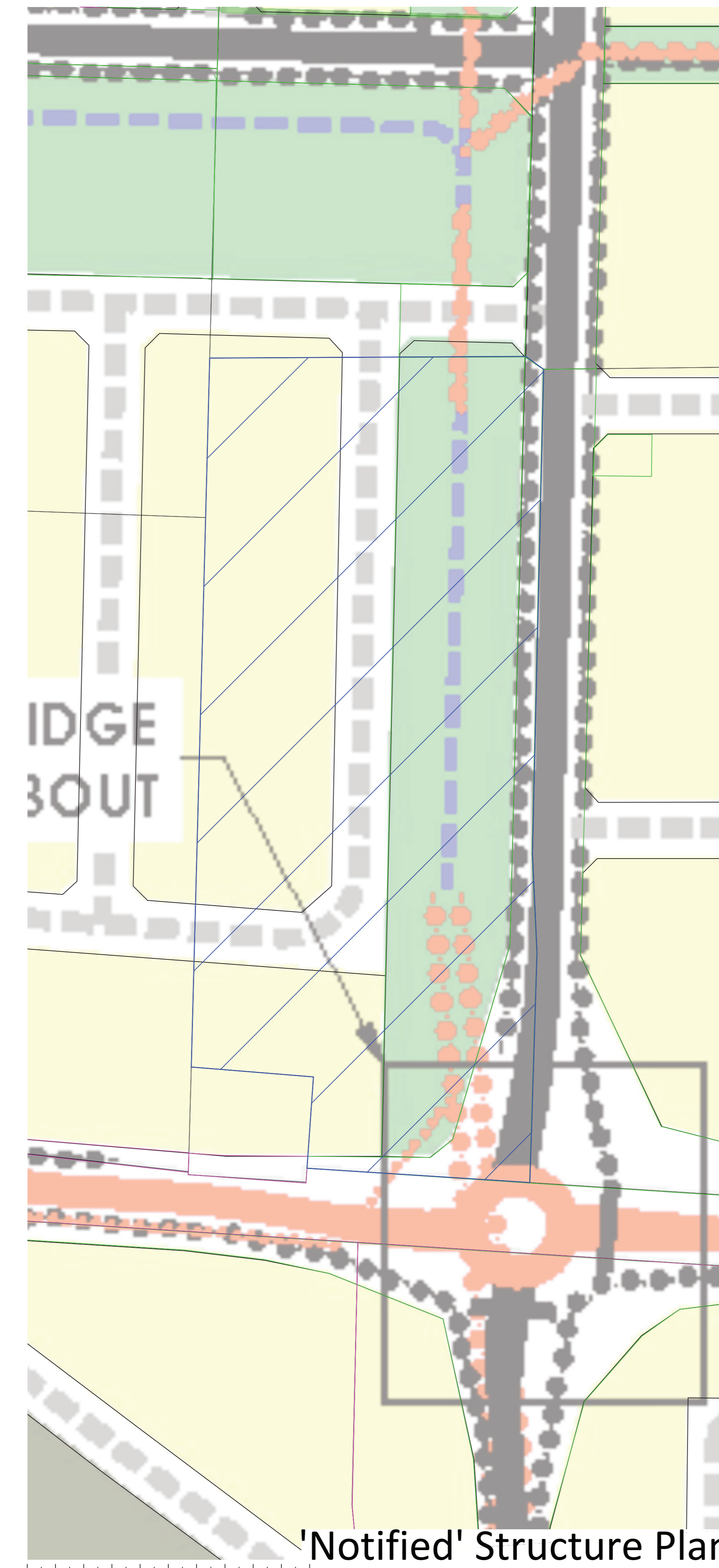


Developable Land Efficiency - 79.8% +/-

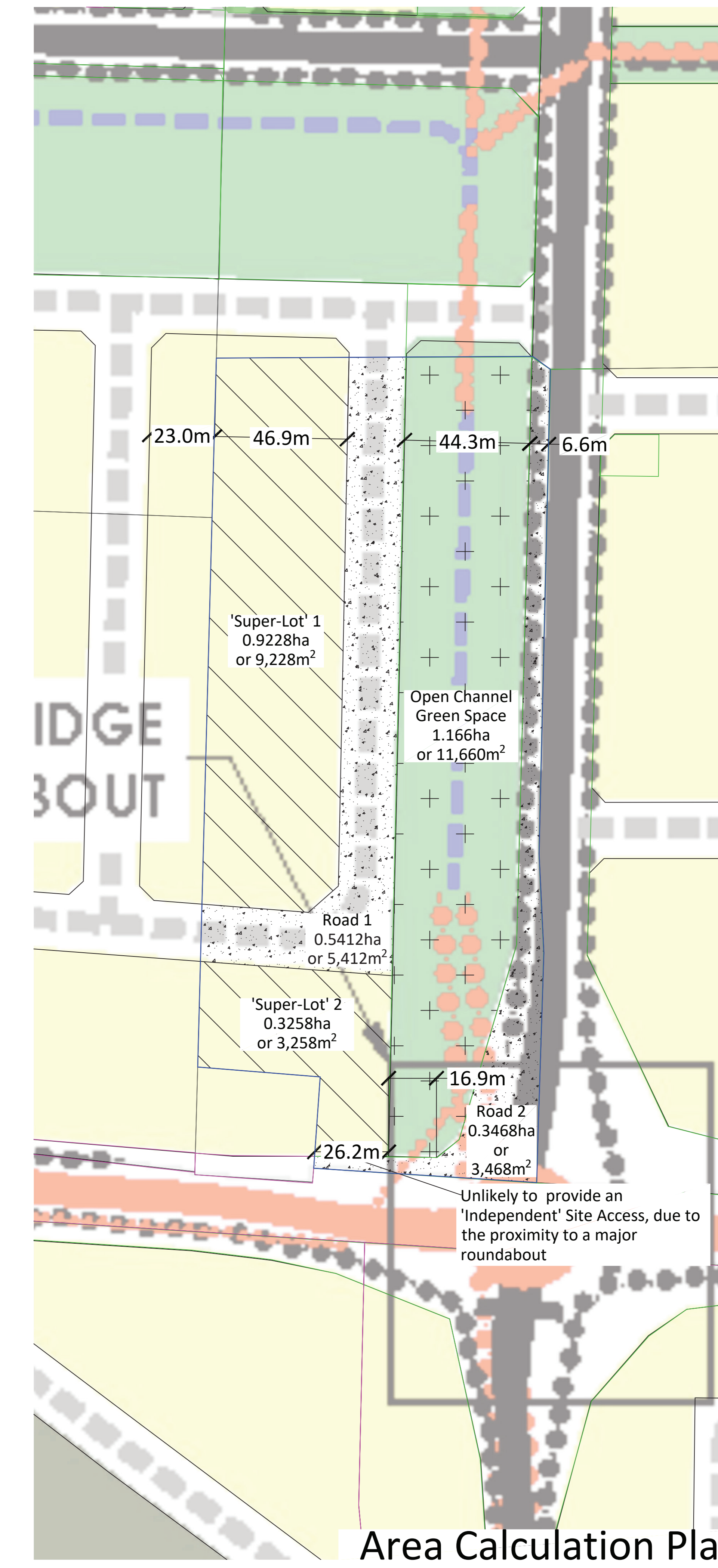


- 3MS Site - 1863, 1865, 1871 & 1881 Cambridge Road
- Submitter 4 - Jiang & Yang's Property - 1835 Cambridge Road; 3.3041ha
- Indicative WDC Land Acquisition ('other' Landowners; including the applicant 3MS) - Ref. Applicant - Statement of Evidence - Drawings and maps referenced
- Indicative Future Street Block/'Super-Lot' Boundary based on the Structure Plan in the WDC District Plan
- 'Rationalised' Indicative Future Street Block/'Super-Lot' Boundary within 1835 Cambridge Road, based on the Structure Plan in the WDC District Plan
- 'Rationalised' Indicative Future Street Corridor/Road Reserve within 1835 Cambridge Road, based on the Structure Plan in the WDC District Plan

Boundaries, Areas and Dimensions are indicative only. They are subject to the design and survey.



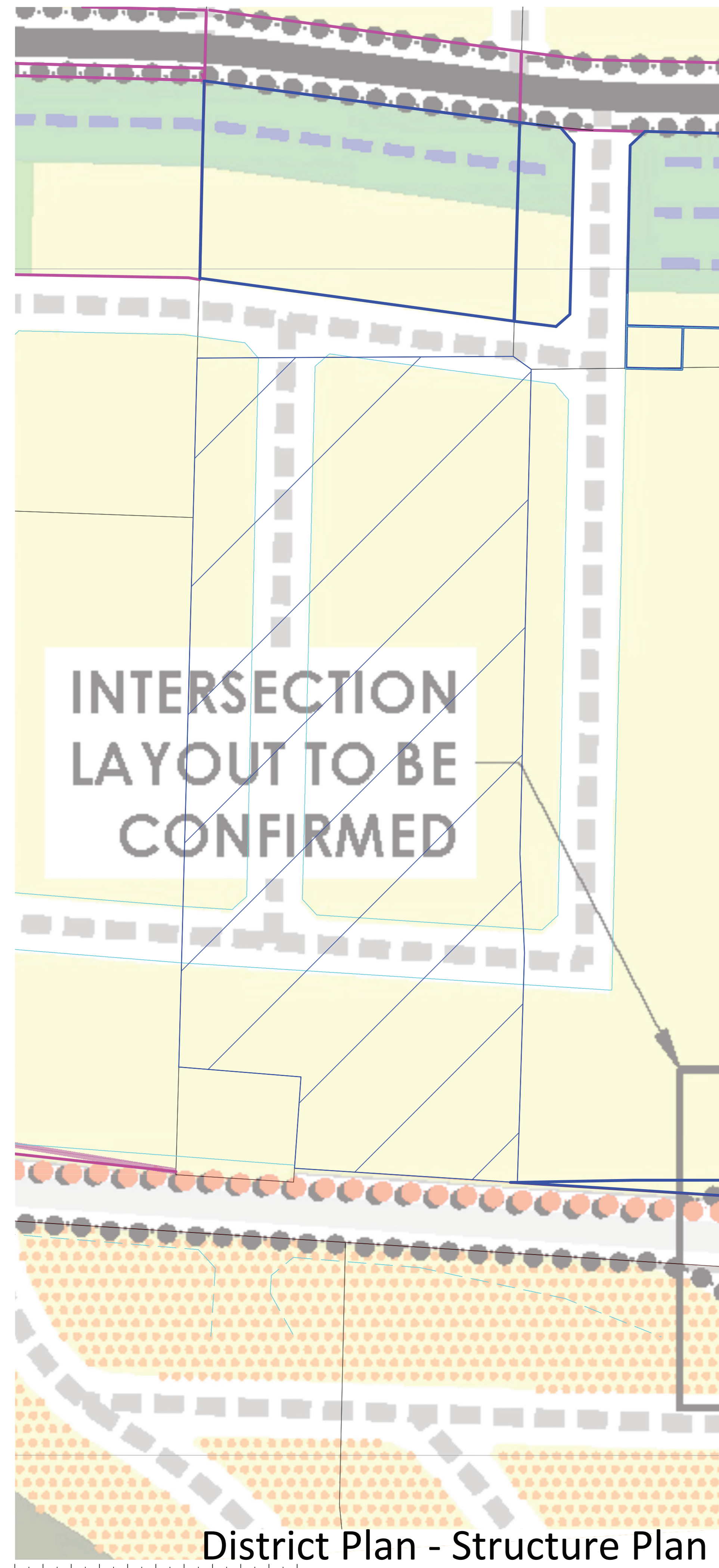
Developable Land Efficiency - 37.8% +/-



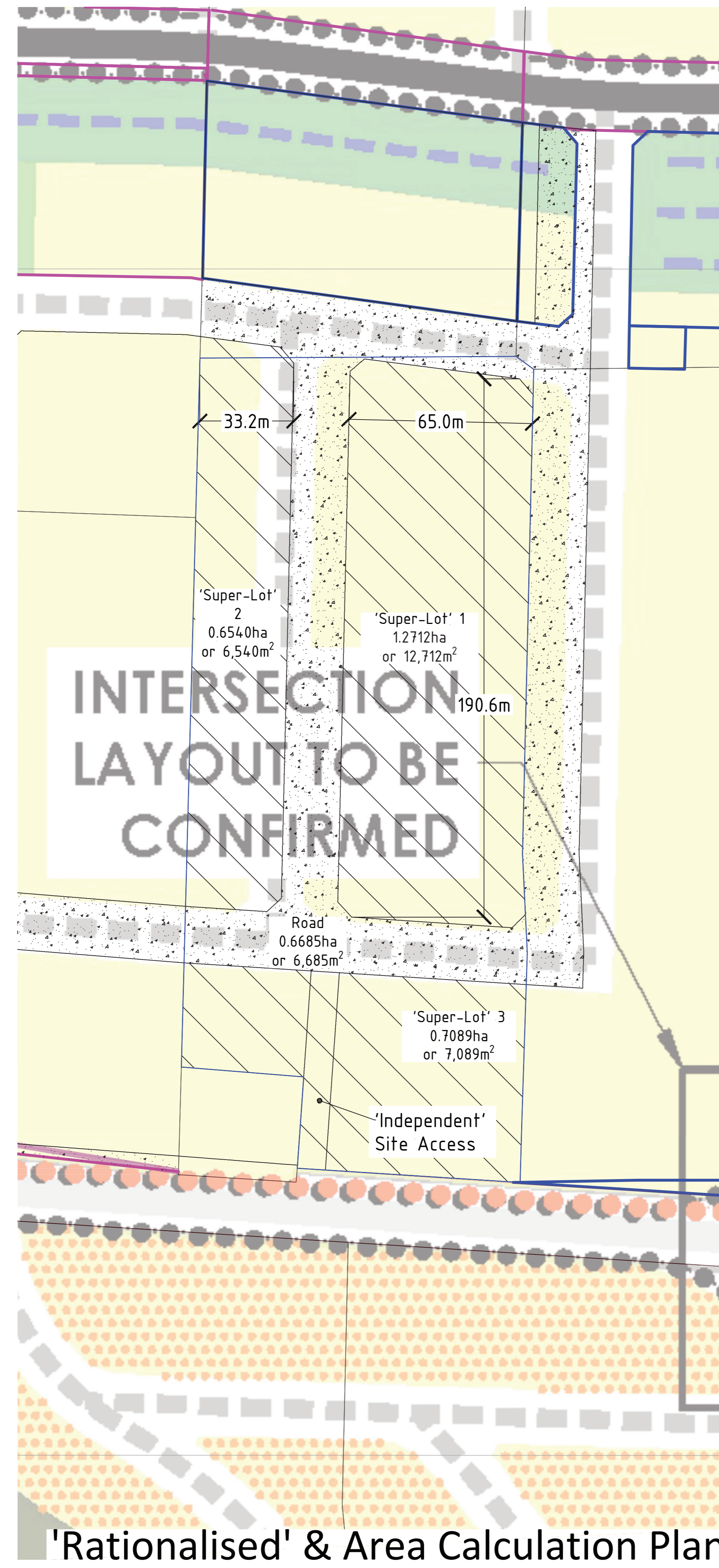
- 3MS Site - 1863, 1865, 1871 & 1881 Cambridge Road
- Submitter 4 - Jiang & Yang's Property - 1835 Cambridge Road; 3.3041ha
- "Property Required" - Ref. Structure Plan Integration Revised Land Requirement Plan, 3MS' Addendum to Application, dated 10 March 2021 (Notified Version)
- "Property Required" - Ref. Structure Plan Integration Revised Land Requirement Plan, 3MS' Addendum to Application, dated 10 March 2021 (Notified Version)
- Indicative Future Street Block/'Super-Lot' Boundary based on the Structure Plan in 3MS' Addendum to Application, dated 10 March 2021 (Notified Version)
- Indicative Future Street Block/'Super-Lot' Boundary within 1835 Cambridge Road, based on the Structure Plan of 3MS' Addendum to Application, dated 10 March 2021 (Notified Version)
- Indicative Future Street Corridor/Road Reserve within 1835 Cambridge Road, based on the Structure Plan of 3MS' Addendum to Application, dated 10 March 2021 (Notified Version)
- Indicative Future Open Channel/Green Space within 1835 Cambridge Road, based on the Structure Plan of 3MS' Addendum to Application, dated 10 March 2021 (Notified Version)

Boundaries, Areas and Dimensions are indicative only. They are subject to the design and survey.

# Quantify Effects - Reduction in Developable Land

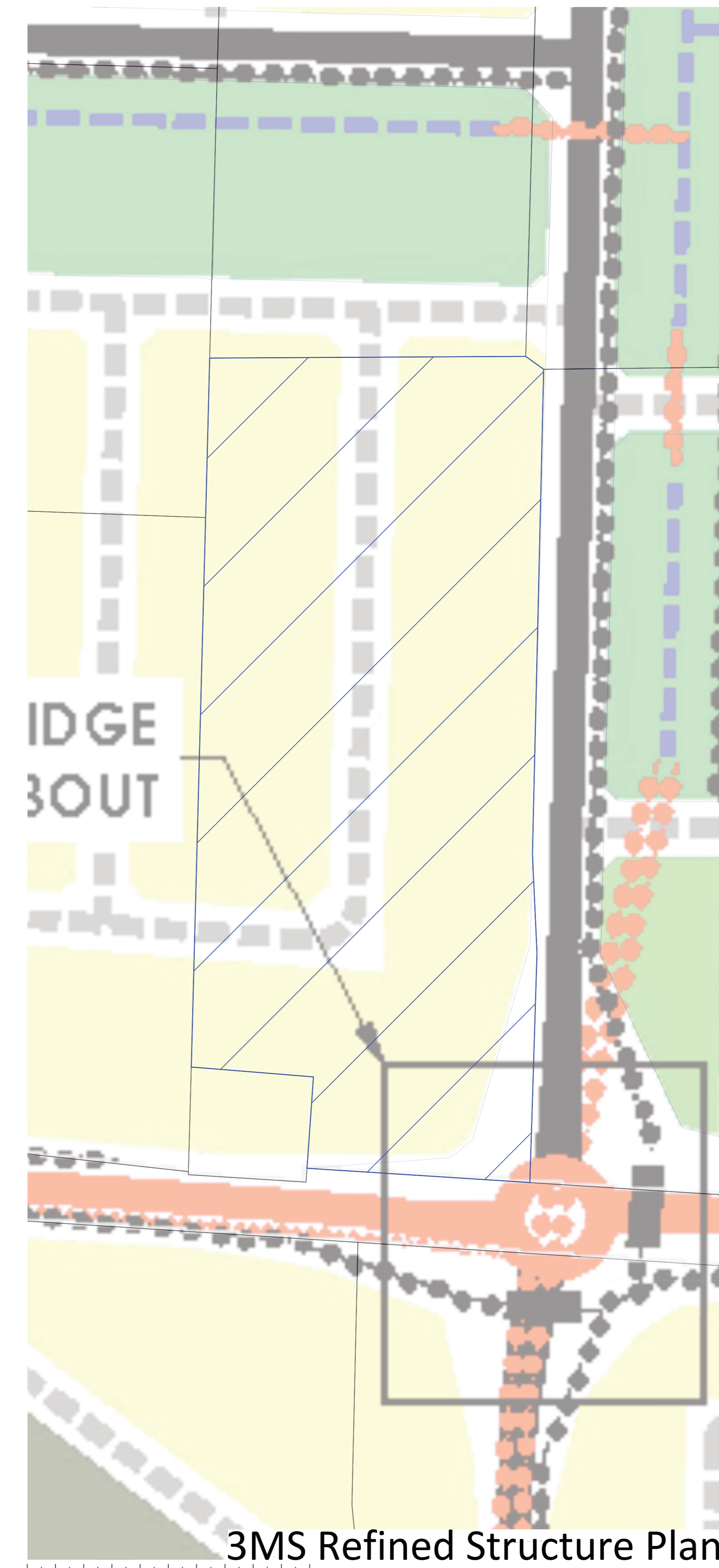


Developable Land Efficiency - 79.8% +/-

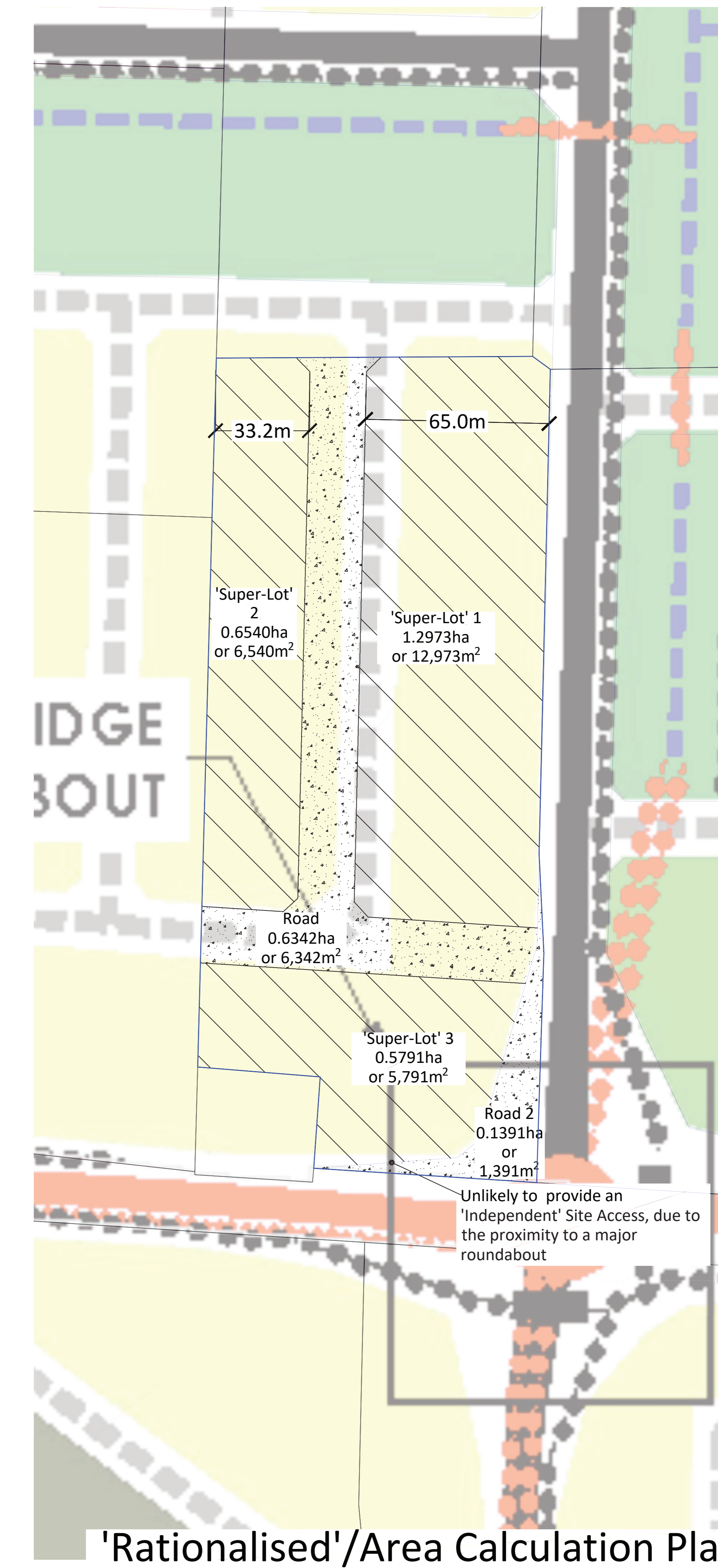


- 3MS Site - 1863, 1865, 1871 & 1881 Cambridge Road
- Submitter 4 - Jiang & Yang's Property - 1835 Cambridge Road; 3.3041ha
- Indicative WDC Land Acquisition ('other' Landowners; including the applicant 3MS) - Ref. Applicant - Statement of Evidence - Drawings and maps referenced
- Indicative Future Street Block/'Super-Lot' Boundary based on the Structure Plan in the WDC District Plan
- 'Rationalised' Indicative Future Street Block/'Super-Lot' Boundary within 1835 Cambridge Road, based on the Structure Plan in the WDC District Plan
- 'Rationalised' Indicative Future Street Corridor/Road Reserve within 1835 Cambridge Road, based on the Structure Plan in the WDC District Plan

Boundaries, Areas and Dimensions are indicative only. They are subject to the design and survey.



Developable Land Efficiency - 76.6% +/-



- 3MS Site - 1863, 1865, 1871 & 1881 Cambridge Road
- Submitter 4 - Jiang & Yang's Property - 1835 Cambridge Road; 3.3041ha
- 'Refined' Indicative Future Street Block/'Super-Lot' Boundary based on the Structure Plan in 3MS' Statement of Evidence, dated 11 May 2021 (Refined Version)
- 'Refined' Indicative Future Street Block/'Super-Lot' Boundary within 1835 Cambridge Road, based on the Structure Plan of 3MS' Statement of Evidence, dated 11 May 2021 (Refined Version)
- 'Refined' Indicative Future Street Corridor/Road Reserve within 1835 Cambridge Road, based on the Structure Plan of 3MS' Statement of Evidence, dated 11 May 2021 (Refined Version)

Boundaries, Areas and Dimensions are indicative only. They are subject to the design and survey.